



Issued For:

REVIEW
7-24-03

DEVELOPER REVIEW
10-15-03

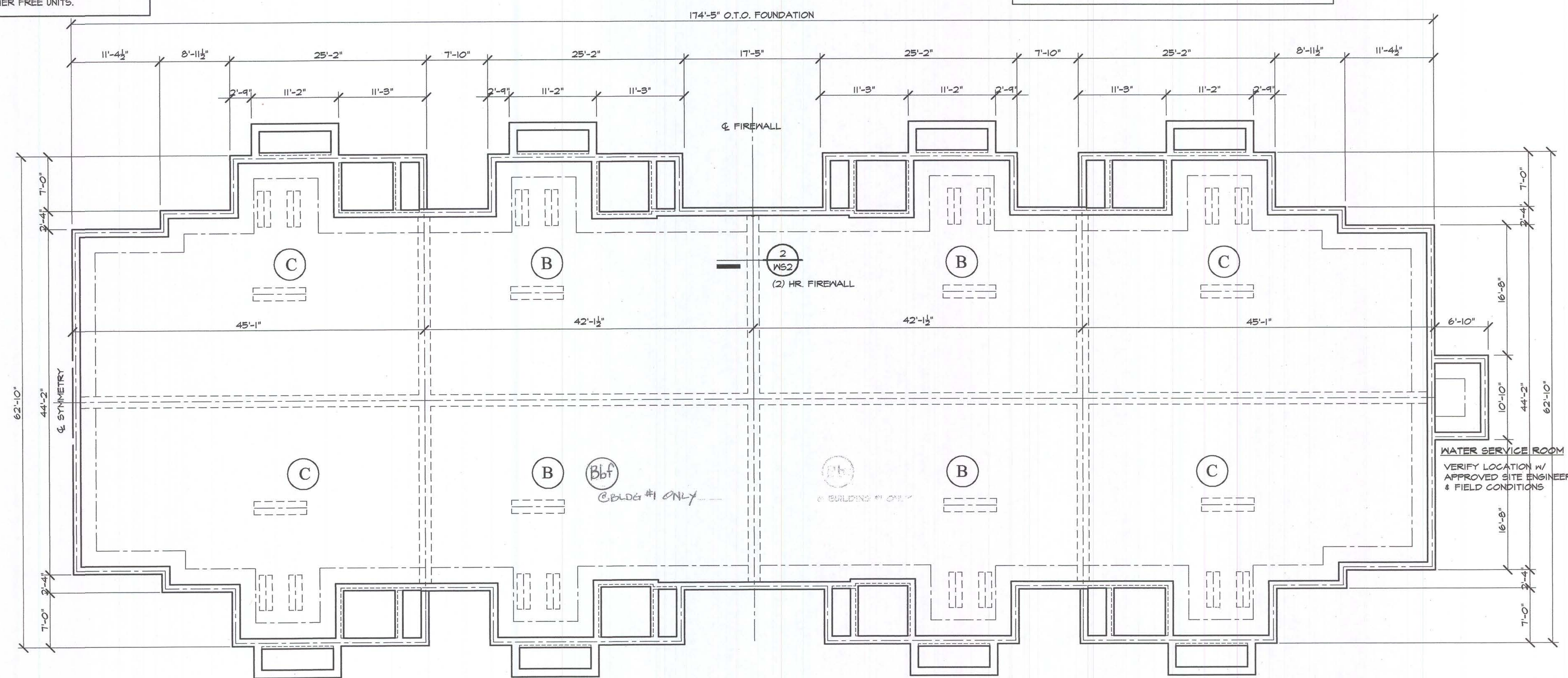
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2-9-04

NOTE TO ALL CONTRACTORS :

ALL CONTRACTORS SHALL VERIFY & COORDINATE ALL DIMENSIONS ON DRAWINGS, AS WELL AS REVIEW & COORDINATE PLANS W/ EXTERIOR BLDG. ELEVATIONS, SECTIONS, & DETAILS BEFORE COMMENCING WITH THE WORK. IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, BLDG. ELEVATIONS, SECTIONS & DETAILS IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW, & COORDINATE THE WORK, & CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE PLACEMENT OF PART(S) OF THE WORK, SHALL TAKE FULL RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE IMPROPERLY LOCATED OR CONSTRUCTED.

NOTE:
PROVIDE (1) WATER SERVICE ROOM PER BLDG. - CONFIRM LOC. W/ APPVD. UTILITY PLAN
CONFIRM LOCATION OF BARRIER FREE UNITS.

NOTE:
REFER TO RESPECTIVE UNIT 1/4" SCALE FOUNDATION DRAWINGS, A1.1 - A1.4, FOR FOUNDATION DIMENSIONS, LOCATIONS, SIZES, AND RELATED GENERAL NOTES.



Developer:

FIELEK LAND
DEVELOPMENT, L.L.C.
South Lyon, Mi.

Project:

WORTHINGTON
APARTMENTS

LESLIE, MICHIGAN

Sheet Title:

FOUNDATION PLAN
BUILDING TYPE II
BLDG # 1, 4, & 6

Project Number: 03-161

Drawn: SM

Checked: GA

Date: 7-24-03

Sheet Number:

A7.1



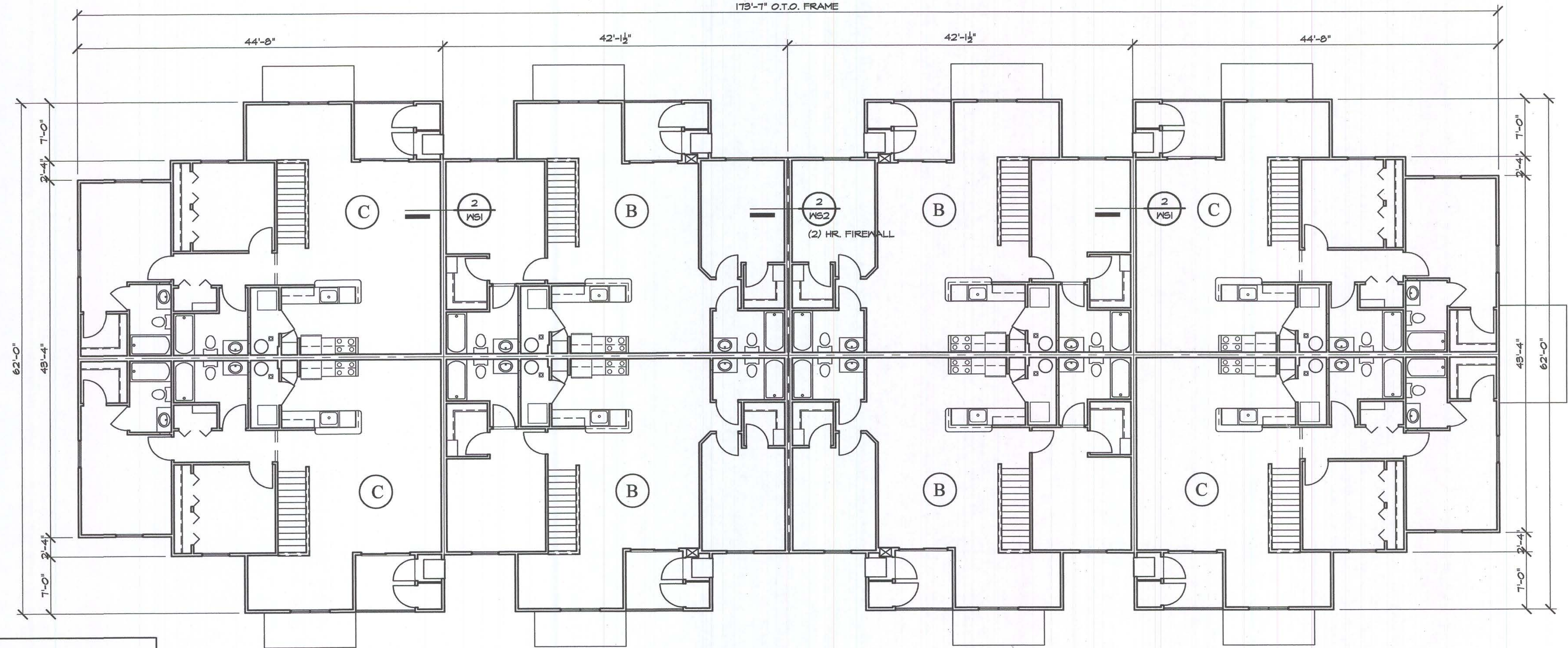
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7-31-03

DEVELOPER REVIEW
10-15-03

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1-30-04

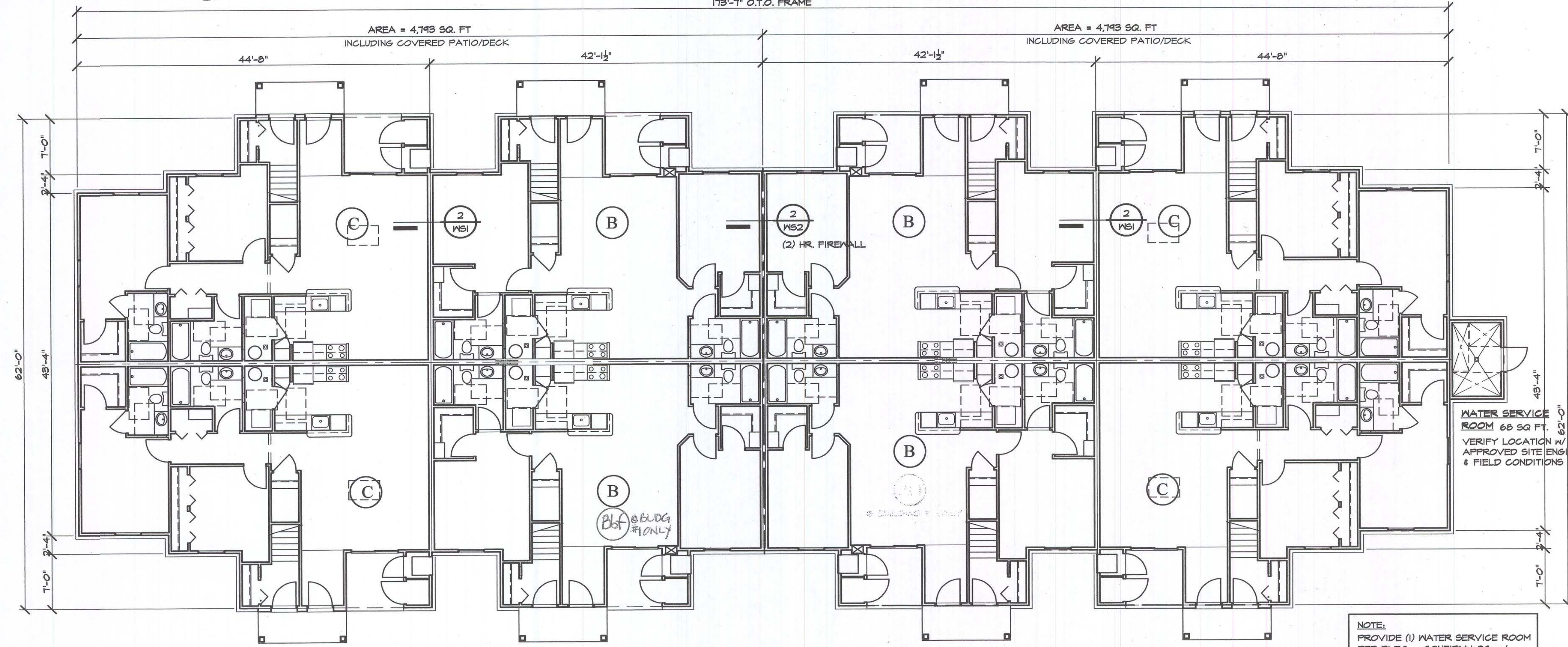
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NOTE:
BUILDING AREAS ARE CALCULATED TO THE EXTERIOR FACE OF THE EXTERIOR WALL SHEATHING.

2 SECOND FLOOR PLAN - BUILDING TYPE II
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN - BUILDING TYPE II
SCALE: 1/8" = 1'-0"

NOTE:
PROVIDE (1) WATER SERVICE ROOM PER BLDG. - CONFIRM LOC. W/ APPVD. UTILITY PLAN
CONFIRM LOCATION OF BARRIER FREE UNITS W/ SITE PLAN.

Developer:
FILEKLAND DEVELOPMENT, L.L.C.
South Lyon, Mi.

Project:

WORTHINGTON APARTMENTS

LESLIE, MICHIGAN

Sheet Title:

**FIRST & SECOND FLOOR PLANS
BUILDING TYPE II**

Project Number: 03-161

Drawn: SM

Checked: GA

Date: 7-31-03

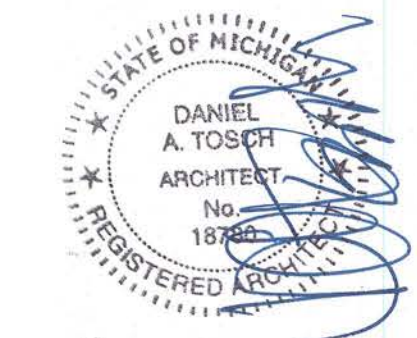
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A7.2

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504.4 EXHAUST INSTALLATION
DRYER EXHAUST DUCTS FOR CLOTHES DRYERS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A BACK DRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION. DUCTS SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT THE FLOW. CLOTHES DRYER EXHAUST DUCTS SHALL NOT BE CONNECTED TO A GAS VENT CONNECTOR, GAS VENT OR CHIMNEY. CLOTHES DRYER EXHAUST DUCTS SHALL NOT EXTEND INTO OR THROUGH DUCTS OR PLENUMS.



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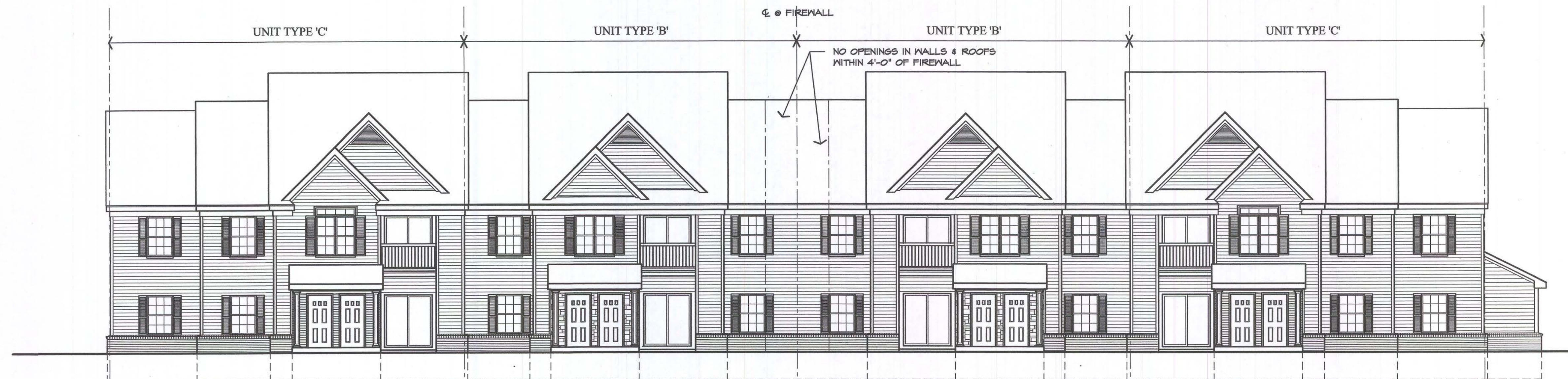
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DEVELOPER REVIEW

10-15-03

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1-30-04

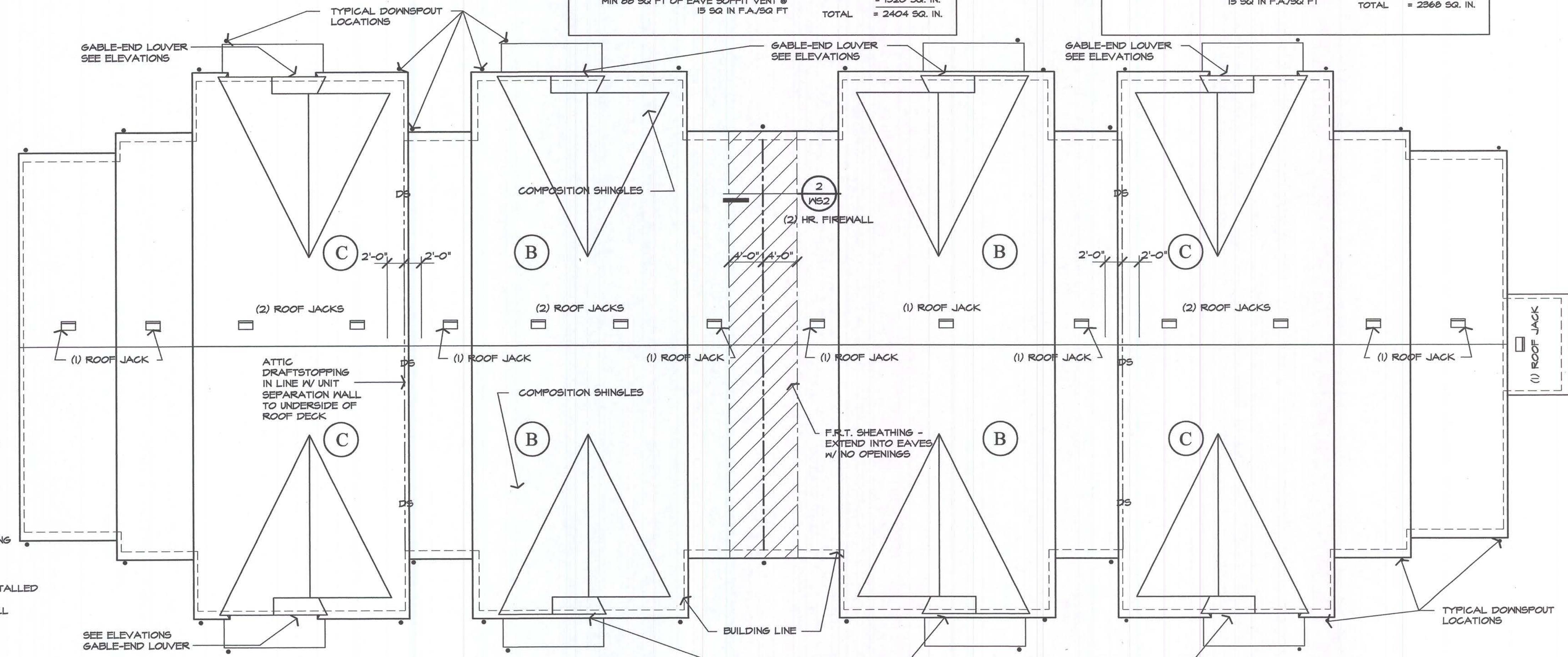


2 FRONT/REAR ELEVATION - BUILDING TYPE II
A7.3
SCALE: 1/8" = 1'-0"

NOTE:
SEE SHEETS A3.1 & A3.2, FOR
INDIVIDUAL UNIT ELEVATIONS &
END ELEVATIONS

ATTIC VENTILATION B UNIT AREA PER (2) B UNITS = 2250 SQ. FT.
76 LIN. FT. OF SOFFIT AVAILABLE FOR (2) UNITS x 1.16 FT. = 88 SQ. FT.
REQUIRED
ATTIC AREA = 2250 S.F. BETWEEN DRAFTSTOPS (PER 2 - UNITS)
REQ'D NET FREE AREA (1/150)
= 15.3 S.F. x 144 = 2160 SQ. IN.
1080 SQ. IN. HIGH; 1080 SQ. IN. LOW
PROVIDED
2 GABLE-END LOUVERS @ 326 SQ. IN. F.A. EACH = 652 SQ. IN.
3 ROOF JACKS @ 144 SQ. IN. F.A. EACH = 432 SQ. IN.
MIN 80 SQ FT OF EAVE SOFFIT VENT @ = 1920 SQ. IN.
15 SQ IN F.A./SQ FT TOTAL = 2404 SQ. IN.

ATTIC VENTILATION C UNIT AREA PER (2) C UNITS = 2326 SQ. FT.
66 LIN. FT. OF SOFFIT AVAILABLE FOR (2) UNITS x 1.16 FT. = 76 SQ. FT.
REQUIRED
ATTIC AREA = 2326 S.F. BETWEEN DRAFTSTOPS (PER 2 - UNITS)
REQ'D NET FREE AREA (1/150)
= 15.3 S.F. x 144 = 2233 SQ. IN.
1116.5 SQ. IN. HIGH; 1116.5 SQ. IN. LOW
PROVIDED
2 GABLE-END LOUVERS @ 326 SQ. IN. F.A. EACH = 652 SQ. IN.
4 ROOF JACKS @ 144 SQ. IN. F.A. EACH = 576 SQ. IN.
MIN 76 SQ FT OF EAVE SOFFIT VENT @ = 1140 SQ. IN.
15 SQ IN F.A./SQ FT TOTAL = 2368 SQ. IN.



NOTE:
PROVIDE WATERPROOF MEMBRANE EAVE PROTECTION FROM EAVES EDGE TO A POINT 24" BEYOND THE INSIDE FACE OF THE EXTERIOR WALL - TYPICAL
PROVIDE WATERPROOF MEMBRANE PROTECTION @ THE JUNCTURE OF ALL ROOFS & WALLS. PROTECTION SHALL EXTEND UP WALL SHEATHING 24" & OUT ONTO ROOF SHEATHING 12".
DOWNSPOUTS SHALL BE CONNECTED TO THE STORM SYSTEM. REFER TO PLUMBING & CIVIL DRAWINGS. COORDINATE/VERIFY LOCATIONS OF DOWNSPOUTS W/ SIDING PLUMBING & SITE CONTRACTORS.
ALL DRAFTSTOPS TO BE PROVIDED & INSTALLED BY ROUGH CARPENTER.
ALL GYPSUM BD. DRAFTSTOP JOINTS SHALL BE BACK-BLOCKED OR TAFED.

1 ROOF PLAN - BUILDING TYPE II
A7.3
SCALE: 1/8" = 1'-0"

Developer:
FIELEK LAND DEVELOPMENT, L.L.C.
South Lyon, Mi.

Project:

WORTHINGTON APARTMENTS

LESLIE, MICHIGAN

Sheet Title:

FRONT/REAR ELEV. & ROOF PLAN BUILDING TYPE II

Project Number: 03-161

Drawn: SM

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Sheet Number:

A7.3



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10-15-03

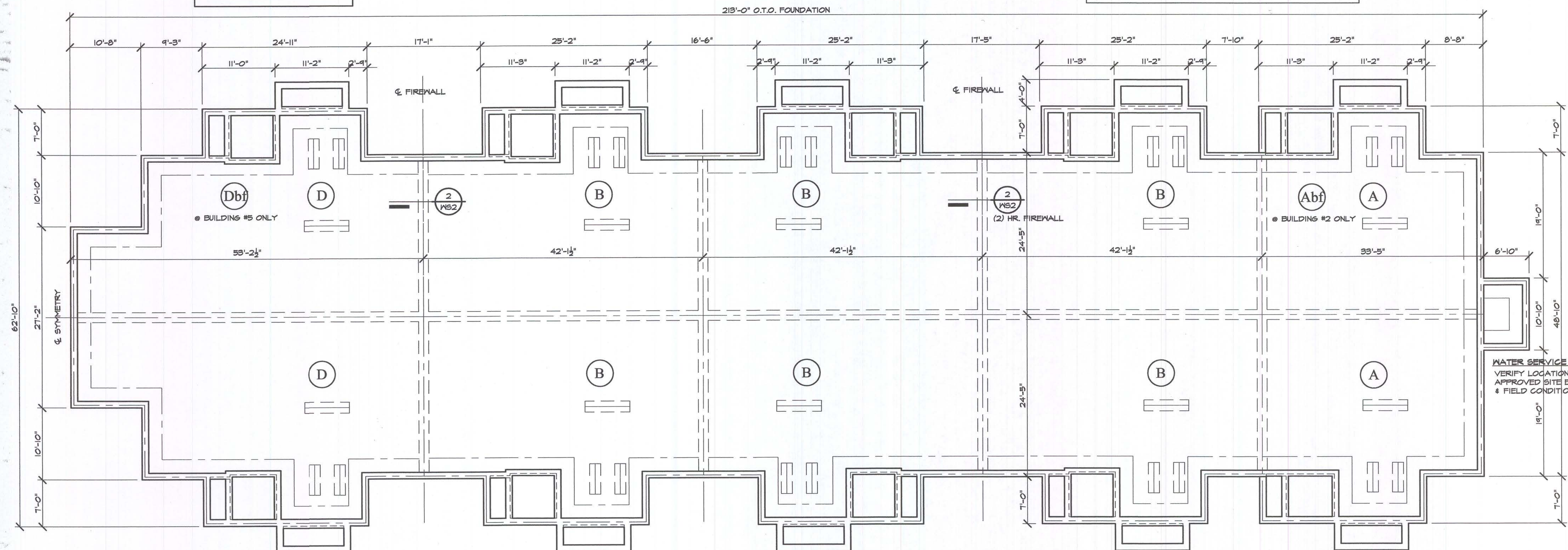
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NOTE:
PROVIDE (1) WATER SERVICE ROOM PER BLDG. - CONFIRM LOC. w/ APPVD. UTILITY PLAN
CONFIRM LOCATION OF BARRIER FREE UNITS.

NOTE:
REFER TO RESPECTIVE UNIT 1/4" SCALE FOUNDATION DRAWINGS, A1.1 - A1.4, FOR FOUNDATION DIMENSIONS, LOCATIONS, SIZES, AND RELATED GENERAL NOTES.



FOUNDATION PLAN - BUILDING TYPE III
SCALE: 1/8" = 1'-0"

Developer:
**FIELEK LAND
DEVELOPMENT, L.L.C.**
South Lyon, Mi.

Project:
**WORTHINGTON
APARTMENTS**

LESLE, MICHIGAN
Sheet Title:

**FOUNDATION PLAN
BUILDING TYPE III
BLDG # 2, 3, 5, & 7**

Project Number: 03-161
Drawn: SM
Checked: GA
Date: 7-24-03
Sheet Number:

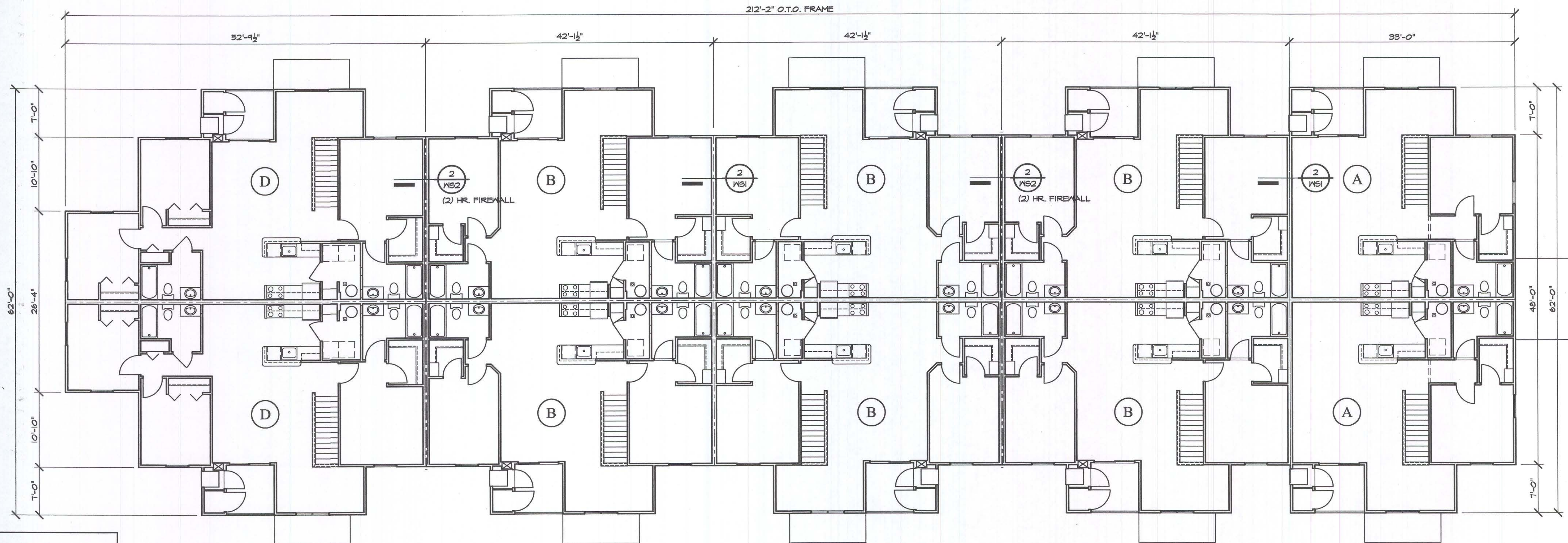
A7.4



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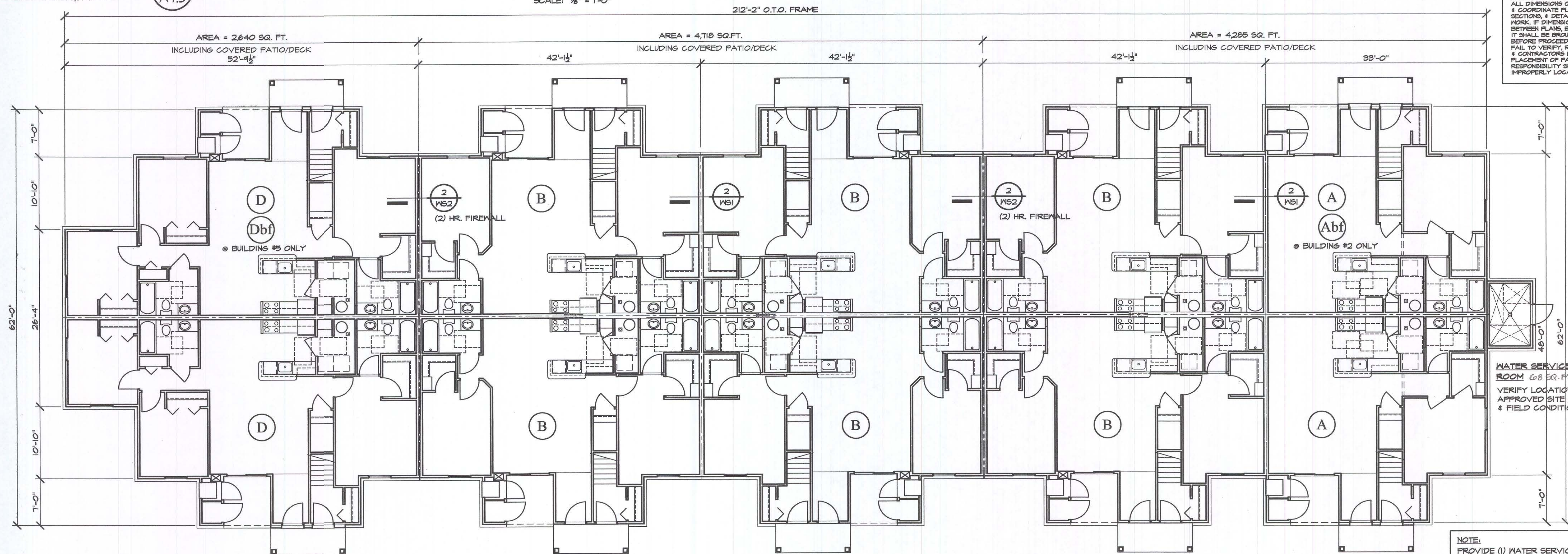
DEVELOPER REVIEW
10-15-03

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2-9-04



2 SECOND FLOOR PLAN - BUILDING TYPE III
A7.5
SCALE: 1/8" = 1'-0"

NOTE TO ALL CONTRACTORS:
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1 FIRST FLOOR PLAN - BUILDING TYPE III
A7.5
SCALE: 1/8" = 1'-0"

Developer:
FIELEK LAND DEVELOPMENT, L.L.C.
South Lyon, Mi.

Project:
WORTHINGTON APARTMENTS

LESLIE, MICHIGAN

Sheet Title:
FIRST & SECOND FLOOR PLANS BUILDING TYPE III

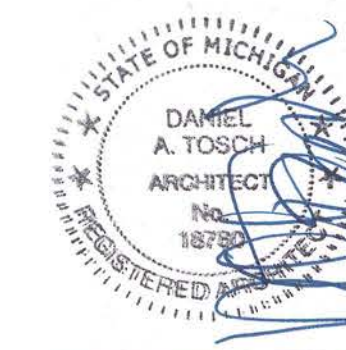
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A7.5

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504.4 EXHAUST INSTALLATION
DRYER EXHAUST DUCTS FOR CLOTHES DRYERS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A BACK DRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION. DUCTS SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREENS OR OTHER FASTENERS THAT WILL OBSTRUCT THE FLOW. CLOTHES DRYER EXHAUST DUCTS SHALL NOT BE CONNECTED TO A GAS VENT CONNECTOR, GAS VENT OR CHIMNEY. CLOTHES DRYER EXHAUST DUCTS SHALL NOT EXTEND INTO OR THROUGH DUCTS OR PLENUMS.



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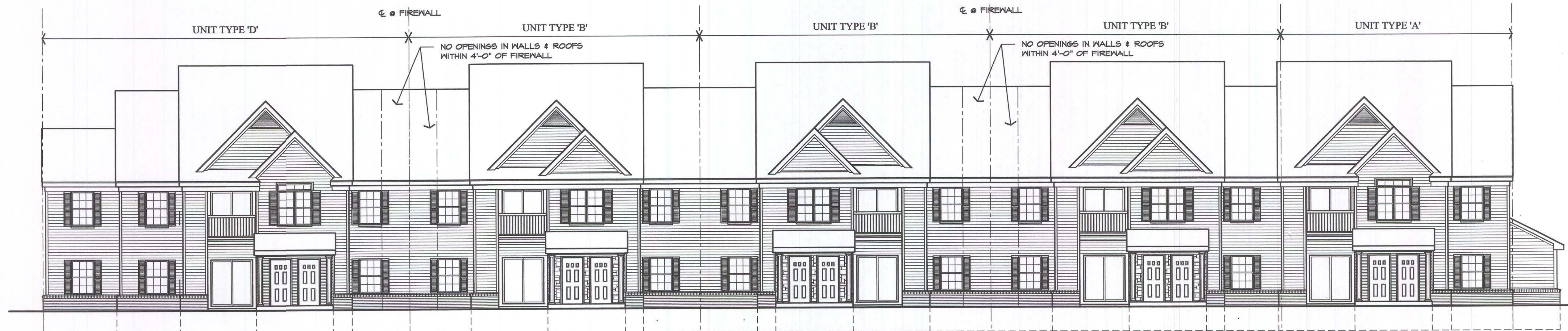
7-31-03

DEVELOPER REVIEW

10-15-03

PERMIT/BIDS

2-9-04



2 FRONT/REAR ELEVATION - BUILDING TYPE III
A7.6
SCALE: 1/8" = 1'-0"

NOTE:
SEE SHEETS A3.1 & A3.3 FOR
INDIVIDUAL UNIT ELEVATIONS &
END ELEVATIONS

ATTIC VENTILATION D UNIT AREA PER (2) D UNITS = 2634 SQ. FT.
66 LIN. FT. OF SOFFIT AVAILABLE FOR (2) UNITS x 1.16 FT. = 76 SQ. FT.

REQUIRED

ATTIC AREA = 2634 S.F. BETWEEN DRAFTSTOPS (PER 2 - UNITS)
REQ'D NET FREE AREA (1/150)
= 15.3 S.F. x 144 = 2194 SQ. IN.
1264 SQ. IN. HIGH; 1264 SQ. IN. LOW

PROVIDED

2 GABLE-END LOUVERS @ 326 SQ. IN. F.A. EACH = 652 SQ. IN.
3 ROOF JACKS @ 144 SQ. IN. F.A. EACH = 432 SQ. IN.
MIN 76 SQ. FT. OF SOFFIT @ 15 SQ. IN./SQ. FT. = 1148 SQ. IN.
TOTAL = 2520 SQ. IN.

ATTIC VENTILATION B UNIT AREA PER (2) B UNITS = 2250 SQ. FT.
76 LIN. FT. OF SOFFIT AVAILABLE FOR (2) UNITS x 1.16 FT. = 88 SQ. FT.

REQUIRED

ATTIC AREA = 2250 S.F. BETWEEN DRAFTSTOPS (PER 2 - UNITS)
REQ'D NET FREE AREA (1/150)
= 15.3 S.F. x 144 = 2194 SQ. IN.
1080 SQ. IN. HIGH; 1080 SQ. IN. LOW

PROVIDED

2 GABLE-END LOUVERS @ 326 SQ. IN. F.A. EACH = 652 SQ. IN.
3 ROOF JACKS @ 144 SQ. IN. F.A. EACH = 432 SQ. IN.
MIN 88 SQ. FT. OF SOFFIT VENT @ 15 SQ. IN./SQ. FT. = 1320 SQ. IN.
TOTAL = 2404 SQ. IN.

ATTIC VENTILATION A UNIT AREA PER (2) A UNITS = 1924 SQ. FT.
47 LIN. FT. OF SOFFIT AVAILABLE FOR (2) UNITS x 1.16 FT. = 54 SQ. FT.

REQUIRED

ATTIC AREA = 1924 S.F. BETWEEN DRAFTSTOPS (PER 2 - UNITS)
REQ'D NET FREE AREA (1/150)
= 15.3 S.F. x 144 = 1744 SQ. IN.
924 SQ. IN. HIGH; 924 SQ. IN. LOW

PROVIDED

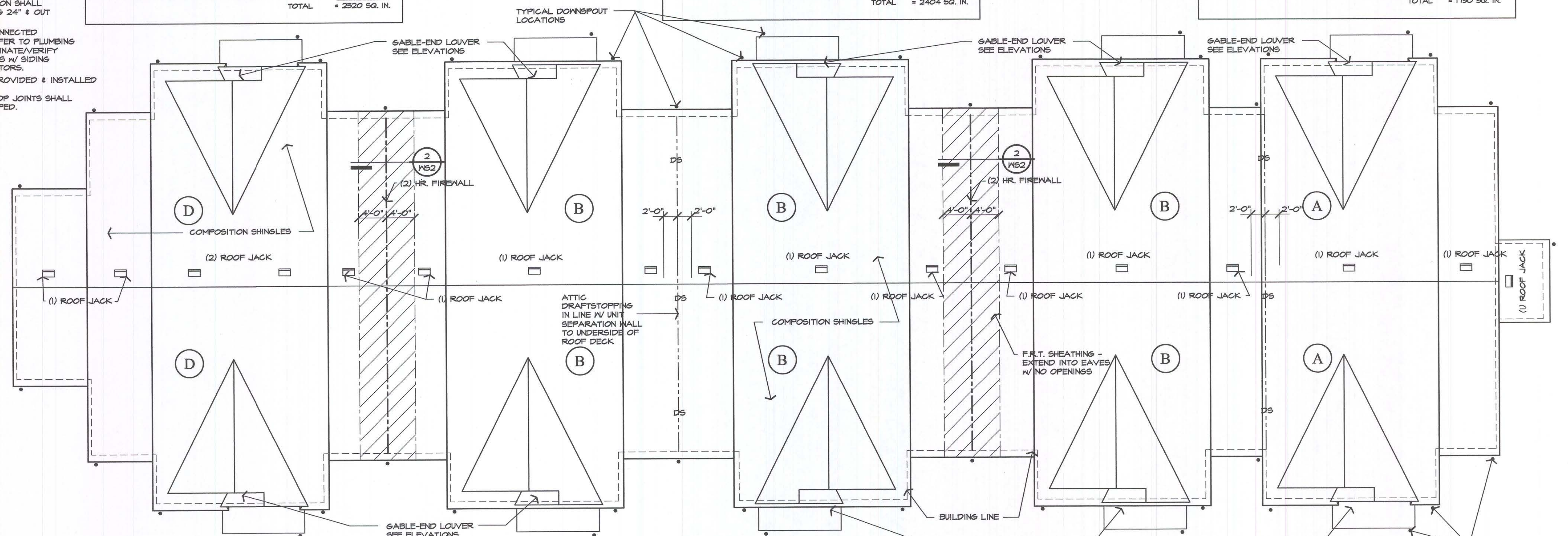
2 GABLE-END LOUVERS @ 326 SQ. IN. F.A. EACH = 652 SQ. IN.
2 ROOF JACKS @ 144 SQ. IN. F.A. EACH = 288 SQ. IN.
MIN 54 SQ. FT. OF SOFFIT VENT @ 15 SQ. IN./SQ. FT. = 810 SQ. IN.
TOTAL = 1750 SQ. IN.

NOTE:

PROVIDE WATERPROOF MEMBRANE
EAVE PROTECTION FROM EAVES EDGE
TO A POINT 24" BEYOND THE INSIDE FACE
OF THE EXTERIOR WALL - TYPICAL
PROVIDE WATERPROOF MEMBRANE
PROTECTION @ THE JUNCTURE OF ALL
ROOFS & WALLS. PROTECTION SHALL
EXTEND UP WALL SHEATHING 24" & OUT
ONTO ROOF SHEATHING 12".

DOWNSPOUTS SHALL BE CONNECTED
TO THE STORM SYSTEM. REFER TO PLUMBING
& CIVIL DRAWINGS. COORDINATE/VERIFY
LOCATIONS OF DOWNSPOUTS W/ SIDING
PLUMBING & SITE CONTRACTORS.

ALL DRAFTSTOPS TO BE PROVIDED & INSTALLED
BY ROUGH CARPENTER.
ALL GYPSUM BD. DRAFTSTOP JOINTS SHALL
BE BACK-BLOCKED OR TAPED.



1 ROOF PLAN - BUILDING TYPE III
A7.6
SCALE: 1/8" = 1'-0"

Developer:

FIELEK LAND
DEVELOPMENT, L.L.C.
South Lyon, Mi.

Project:

WORTHINGTON
APARTMENTS

LESLIE, MICHIGAN

Sheet Title:

FRONT/REAR ELEV.
& ROOF PLAN
BUILDING TYPE III

Project Number: 03-161

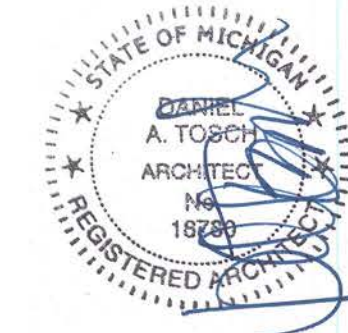
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DEVELOPER REVIEW
10-15-03

PERMIT/BIDS
2-9-04

Developer:
**FIELEK LAND
DEVELOPMENT, L.L.C.**
South Lyon, Mi.

Project:

**WORTHINGTON
APARTMENTS**

LESLIE, MICHIGAN

Sheet Title:

**WALL SECTIONS
& DETAILS**

Project Number: 03-161

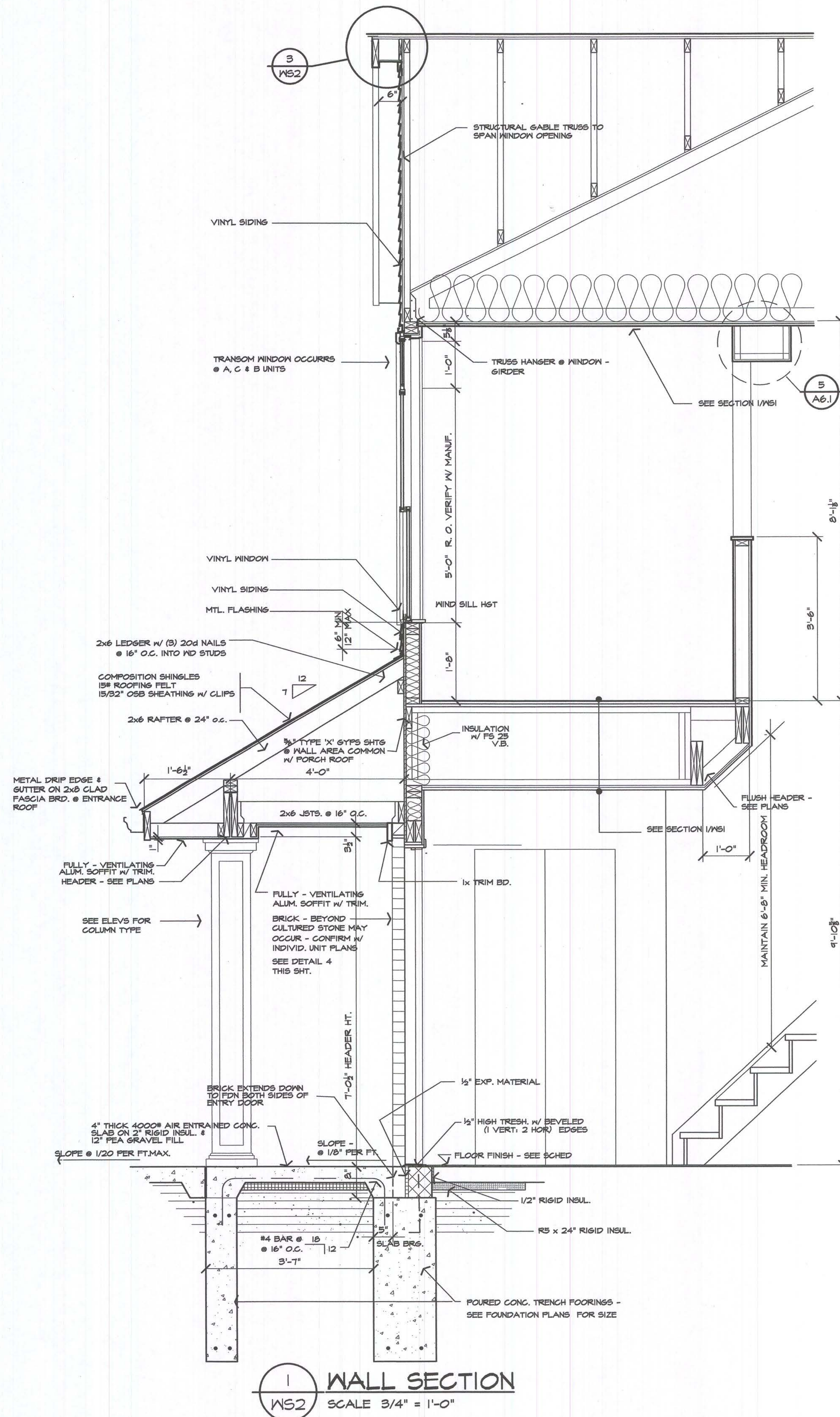
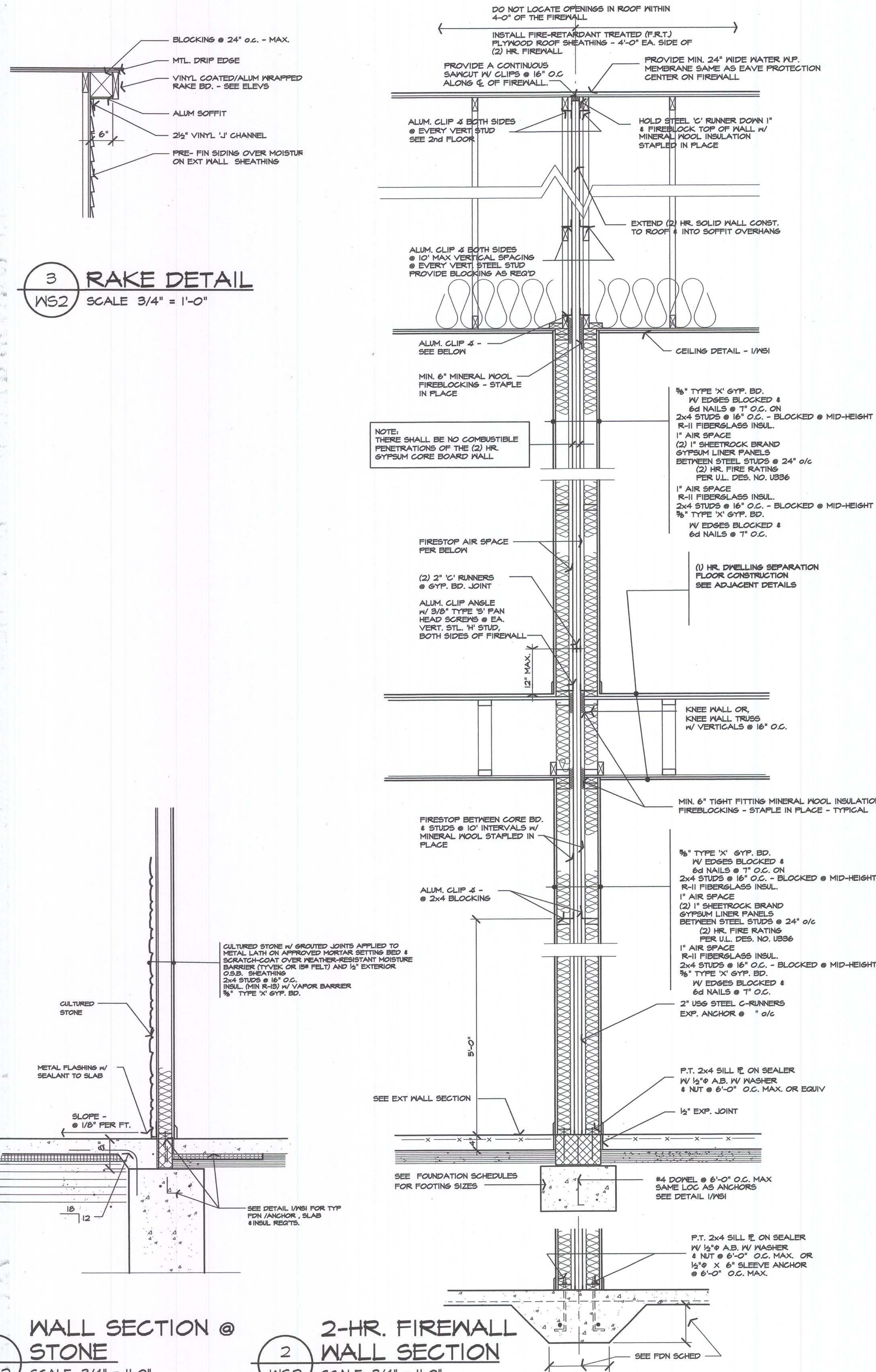
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WS2





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10-15-03

PERMIT/BIDS
2-9-04

NOTE:
REFER TO MECHANICAL DRAWINGS
FOR EXACT DUCT SIZES & LOCATIONS.

BALCONY

2
WS3

PATIO

1/2" EXTERIOR
PLYWOOD - PAINT

5 WALL SECTION @
HVAC CLOSET
SCALE: 3" = 1'-0"

6 WATER SERVICE
ROOM
SCALE: 1/4" = 1'-0"

3 PLAN @ CORNER
BALCONY RAIL
SCALE: 1 1/2" = 1'-0"

4A B.F. THRESHOLD DETAIL
SCALE: 3" = 1'-0"

4 TYP. THRESHOLD DETAIL
SCALE: 3" = 1'-0"

TYP. BEARING WALL @ PATIO

1 WALL SECTION
SCALE: 3/4" = 1'-0"

2nd FLOOR

2 DETAIL
SCALE: 1 1/2" = 1'-0"

1st FLOOR

Developer:
FIELEK LAND
DEVELOPMENT, L.L.C.
South Lyon, Michigan

Project:

WORTHINGTON
APARTMENTS

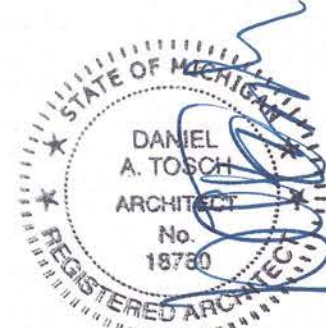
LESLIE, MICHIGAN

Sheet Title:

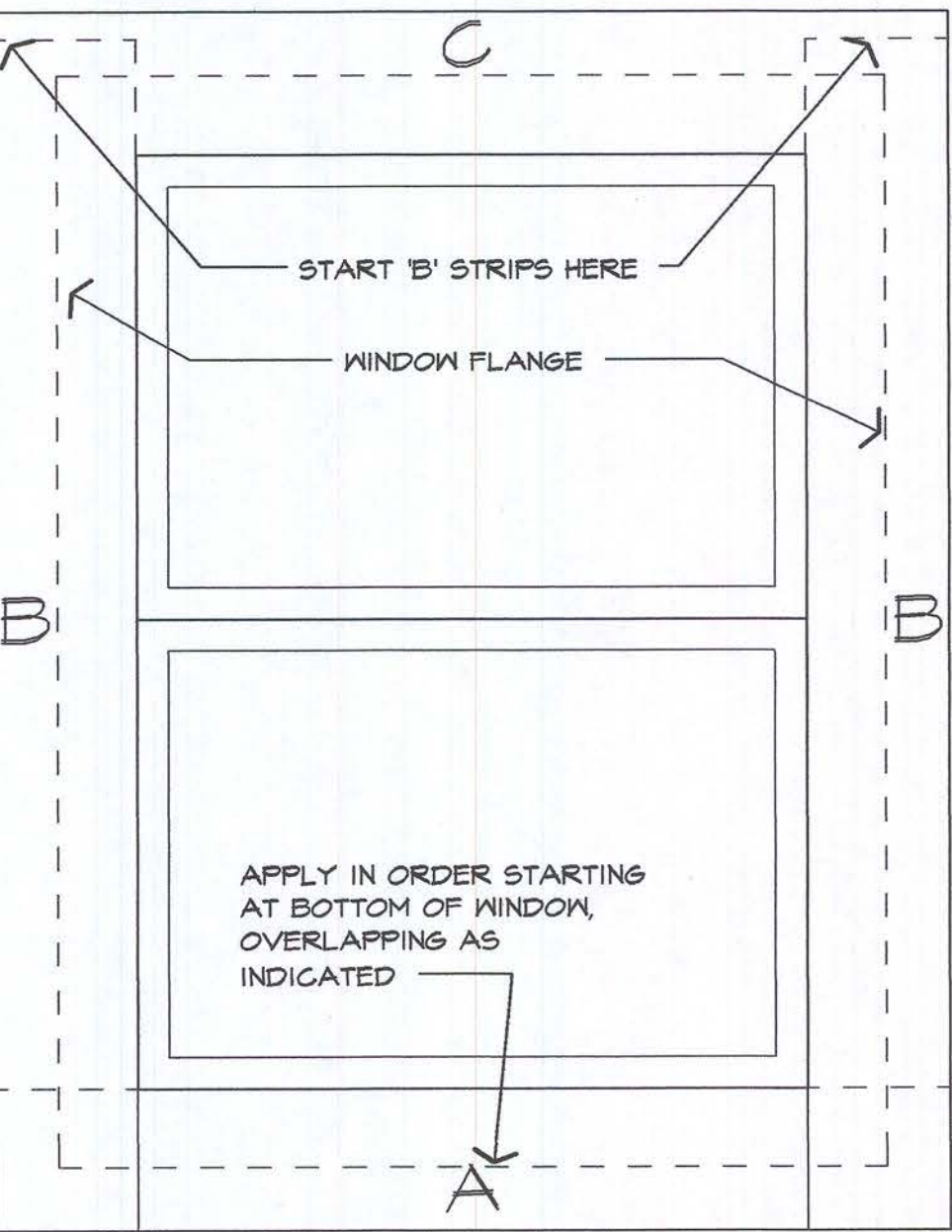
BALCONY SECTIONS
& DETAILS

Project Number: 03-161
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WS3

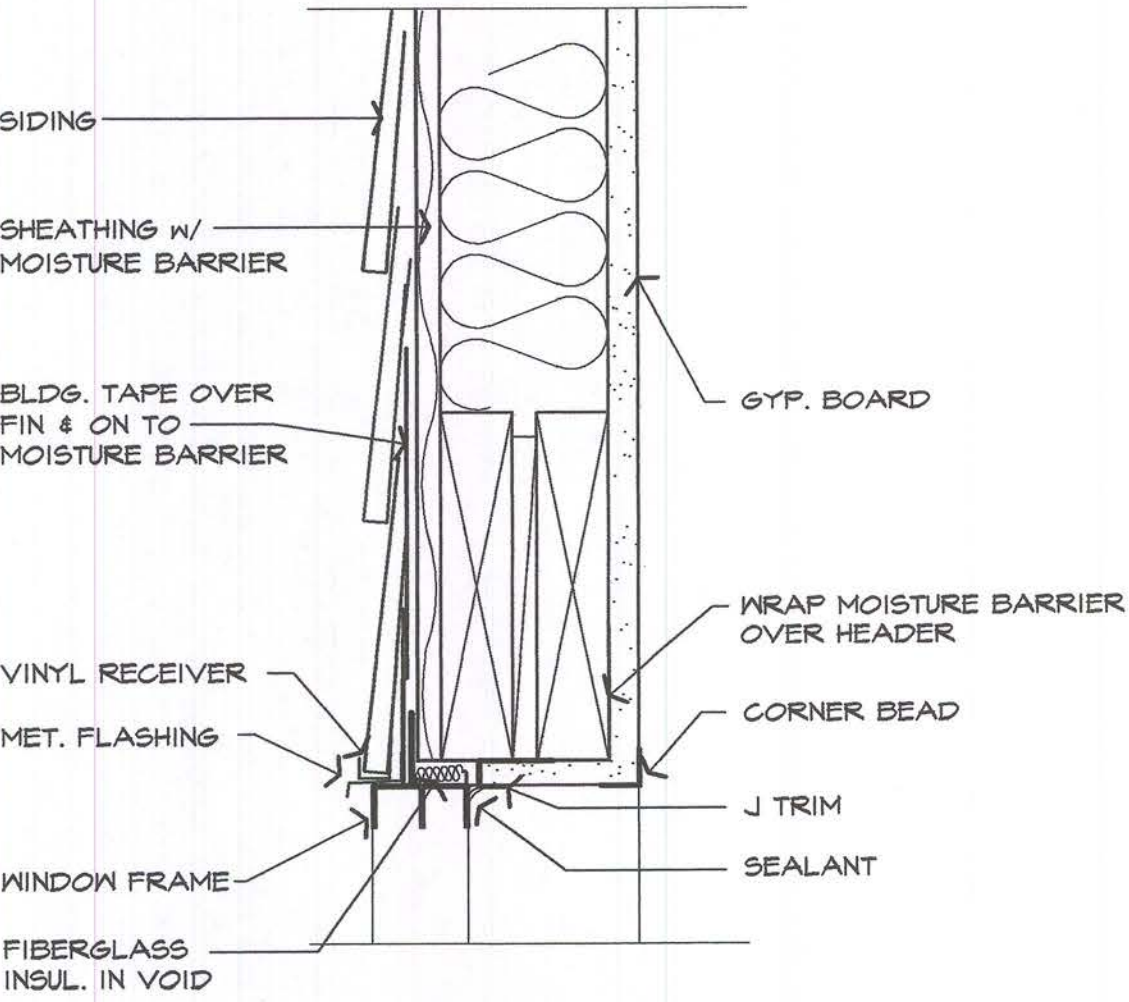


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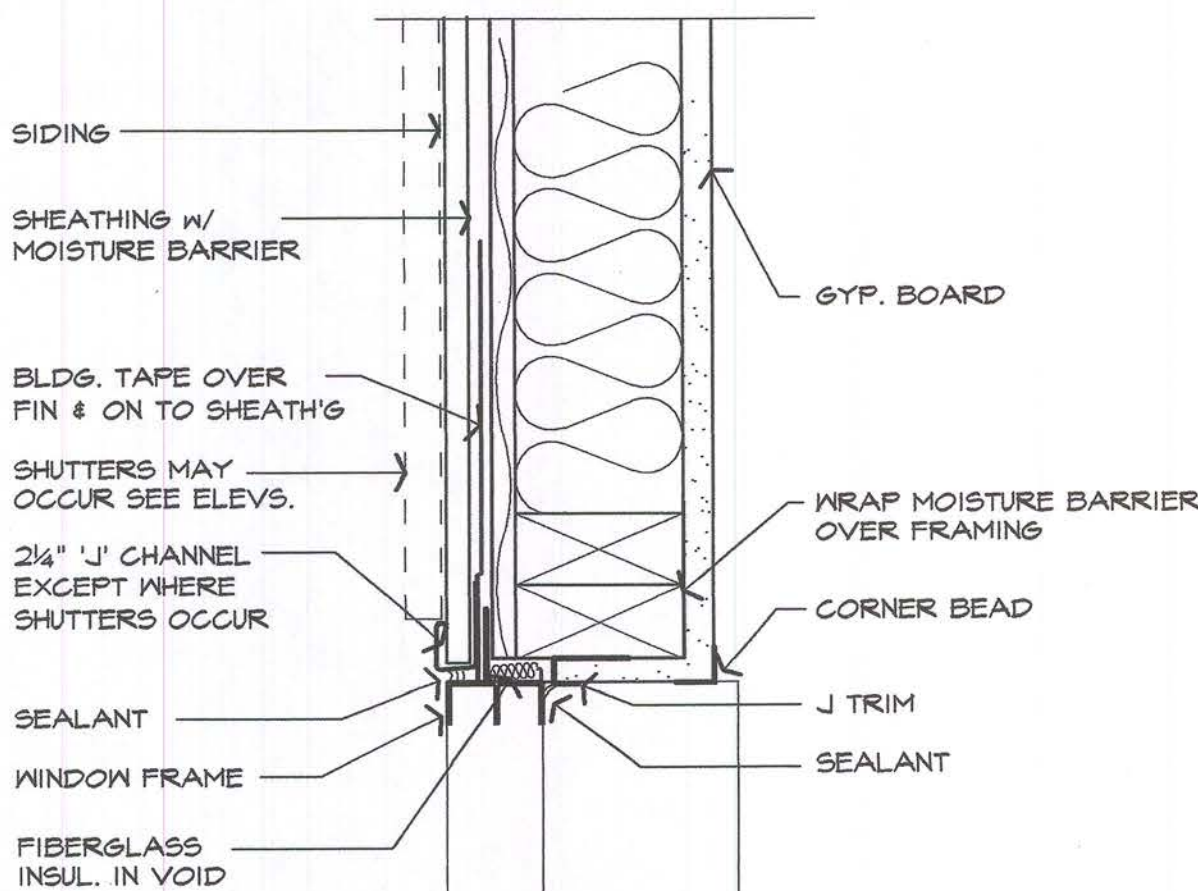


5 WINDOW WRAP IN SIDING
WD NO SCALE

- NOTES:**
1. INSTALL WINDOW w/ CONTINUOUS SEALANT BEAD PLACED BETWEEN WINDOW FLANGE & MOISTURE BARRIER. NAIL PER MANUF. SPECIFICATIONS.
 2. INSTALL PROTECTO WRAP BT-20 BUILDING TAPE OR EQUAL OVER WINDOW FLANGE, BOTTOM FIRST, SIDES OVERLAPPING BOTTOM AND TOP OVERLAPPING SIDES.
 3. INSTALL VINYL SIDING AND TRIM WITH ACCESSORIES AND FLASHING TO PROPERLY PROVIDE WATERPROOF INSTALLATION.
 4. WINDOW INSTALLATION SHALL BE IN STRICT ACCORDANCE w/ THE MANUFACTURER'S RECOMMENDATION.

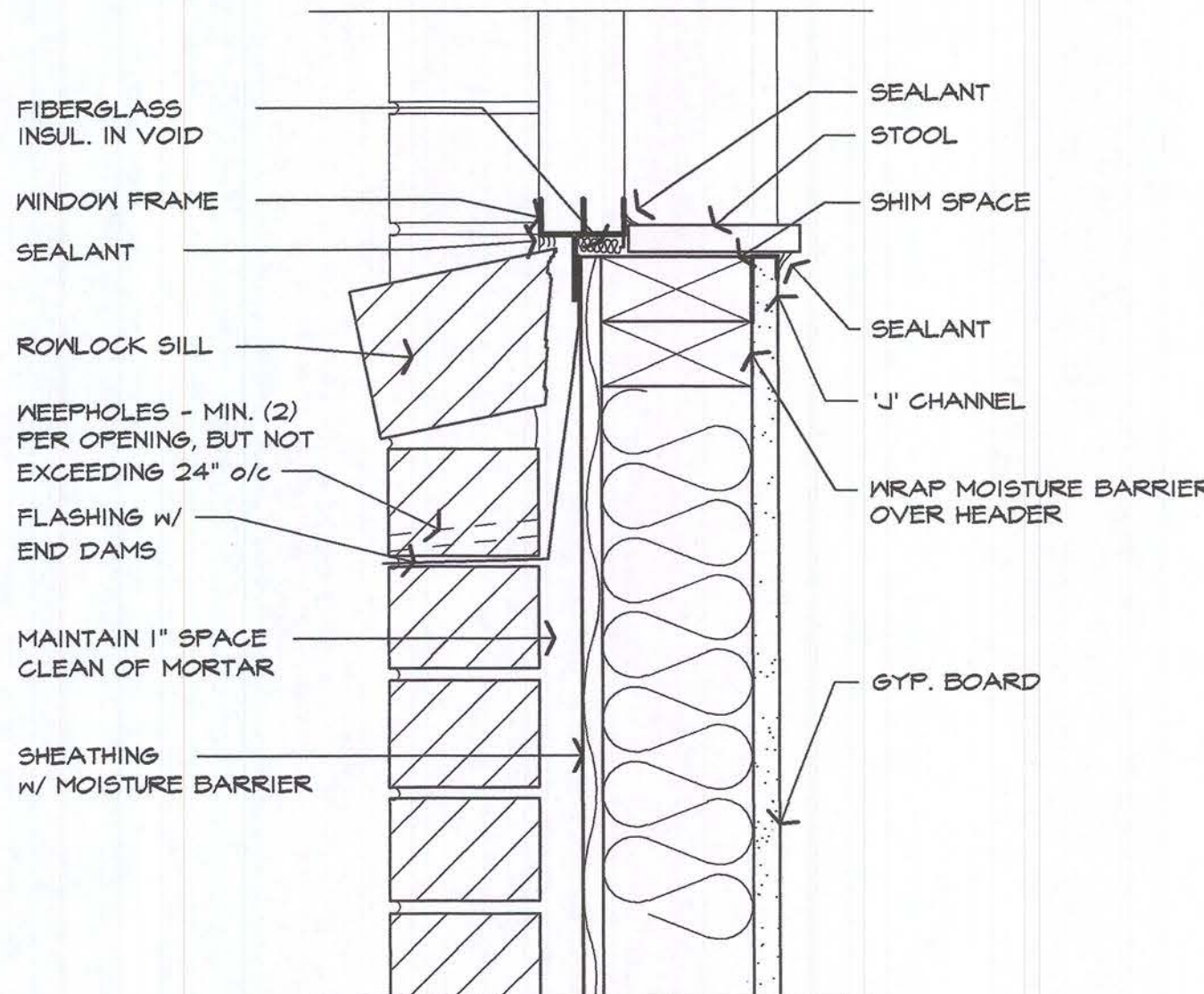


3 HEAD DETAIL
WD SCALE: 3" = 1'-0"

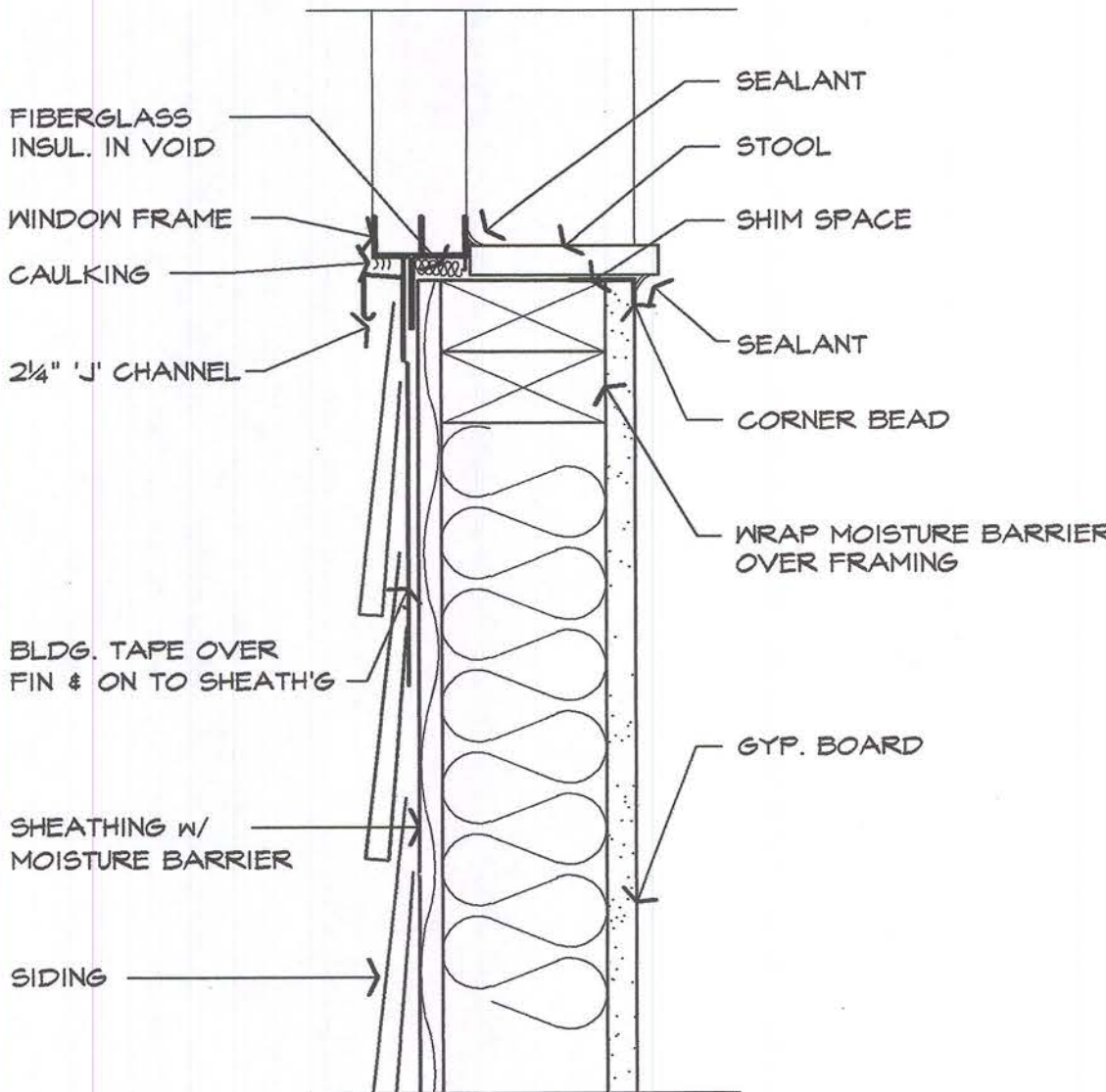


NOTE: INSTALL WATERPROOF MEMBRANE BEHIND FIN AT SILL

2 JAMB DETAIL
WD SCALE: 3" = 1'-0"



4 SILL DETAIL
WD SCALE: 3" = 1'-0"



1 SILL DETAIL
WD SCALE: 3" = 1'-0"

Developer:
FIELEK LAND DEVELOPMENT, L.L.C.
South Lyon, Mi.

Project:
WORTHINGTON APARTMENTS

LESLEIE, MICHIGAN
Sheet Title:

WINDOW DETAILS

Project Number: 03-161
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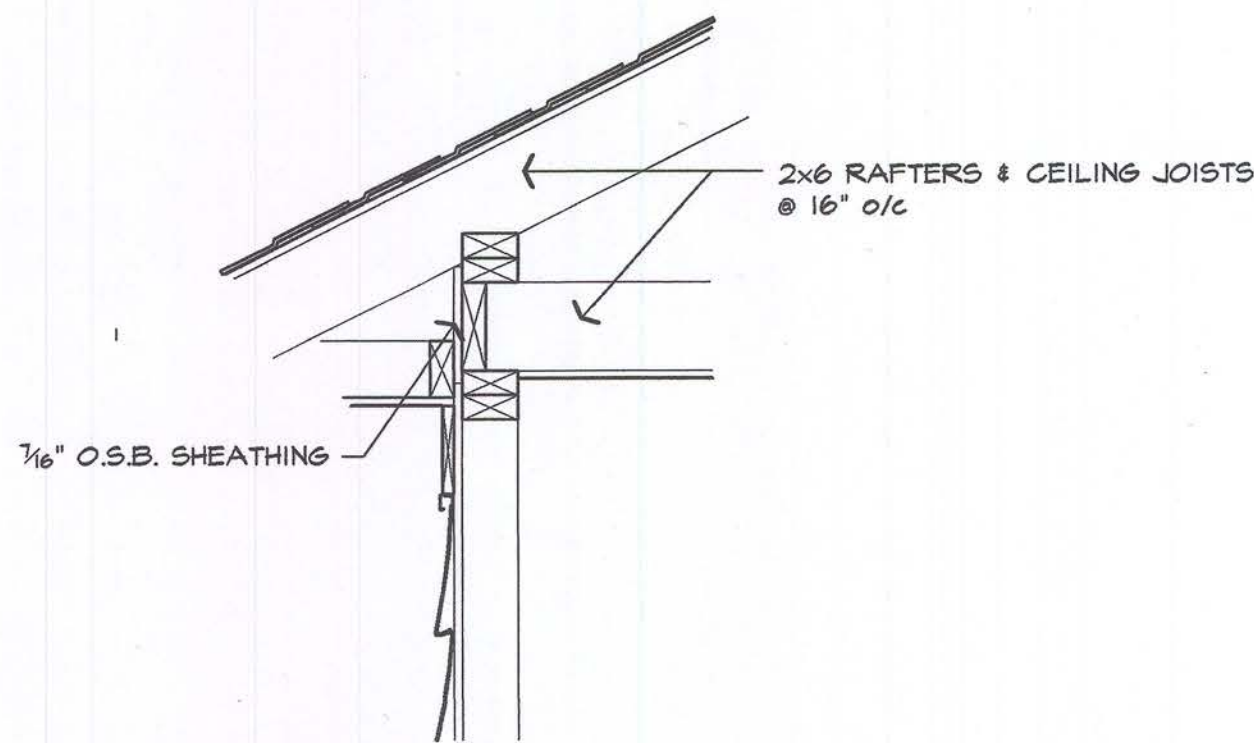
WD



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12-16-03
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2-9-04

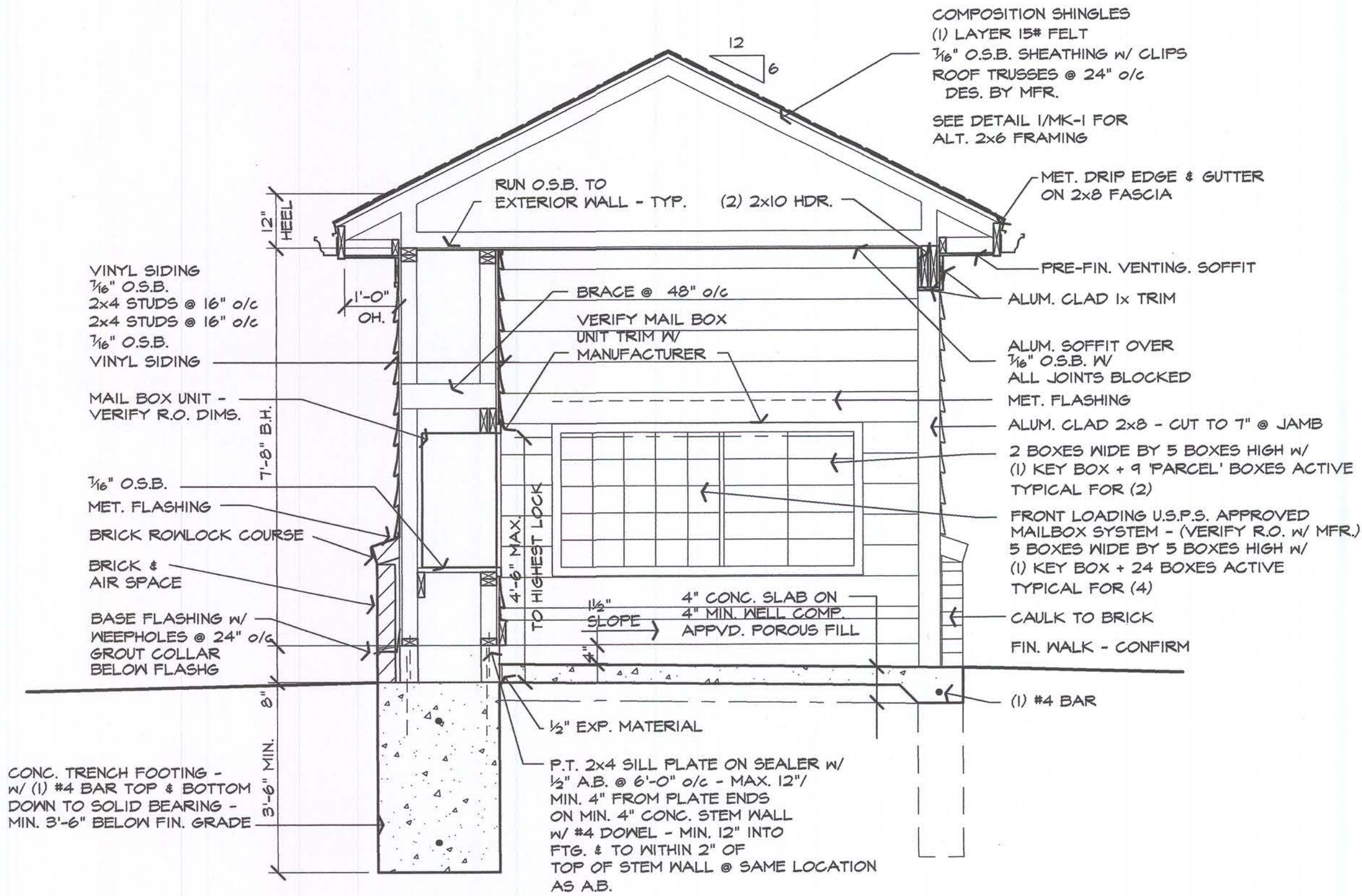
NOTE TO ALL CONTRACTORS :

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DETAIL W/ ALT.
2x6 FRAMING

SCALE: 1" = 1'-0"



BUILDING SECTION
SCALE: 1/2" = 1'-0"

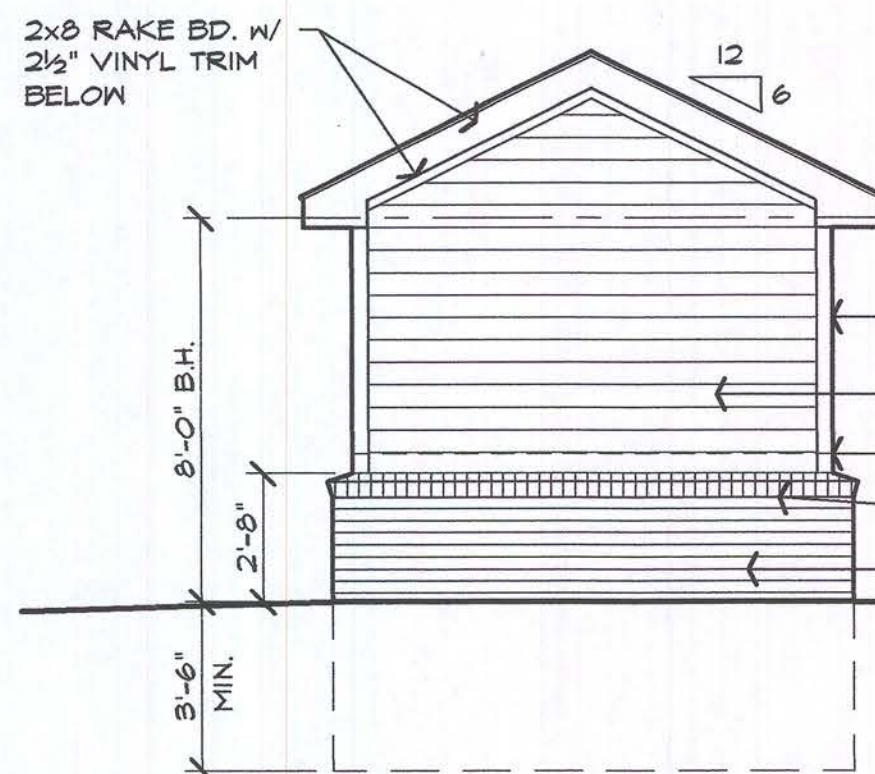
NOTE:

- APPROACH SHALL BE FLUSH TO KIOSK SLAB.
- SLOPE CONC. 1/4" MAX., 1/8" - MIN. / PER FT. FOR DRAINAGE. - SEE PLAN

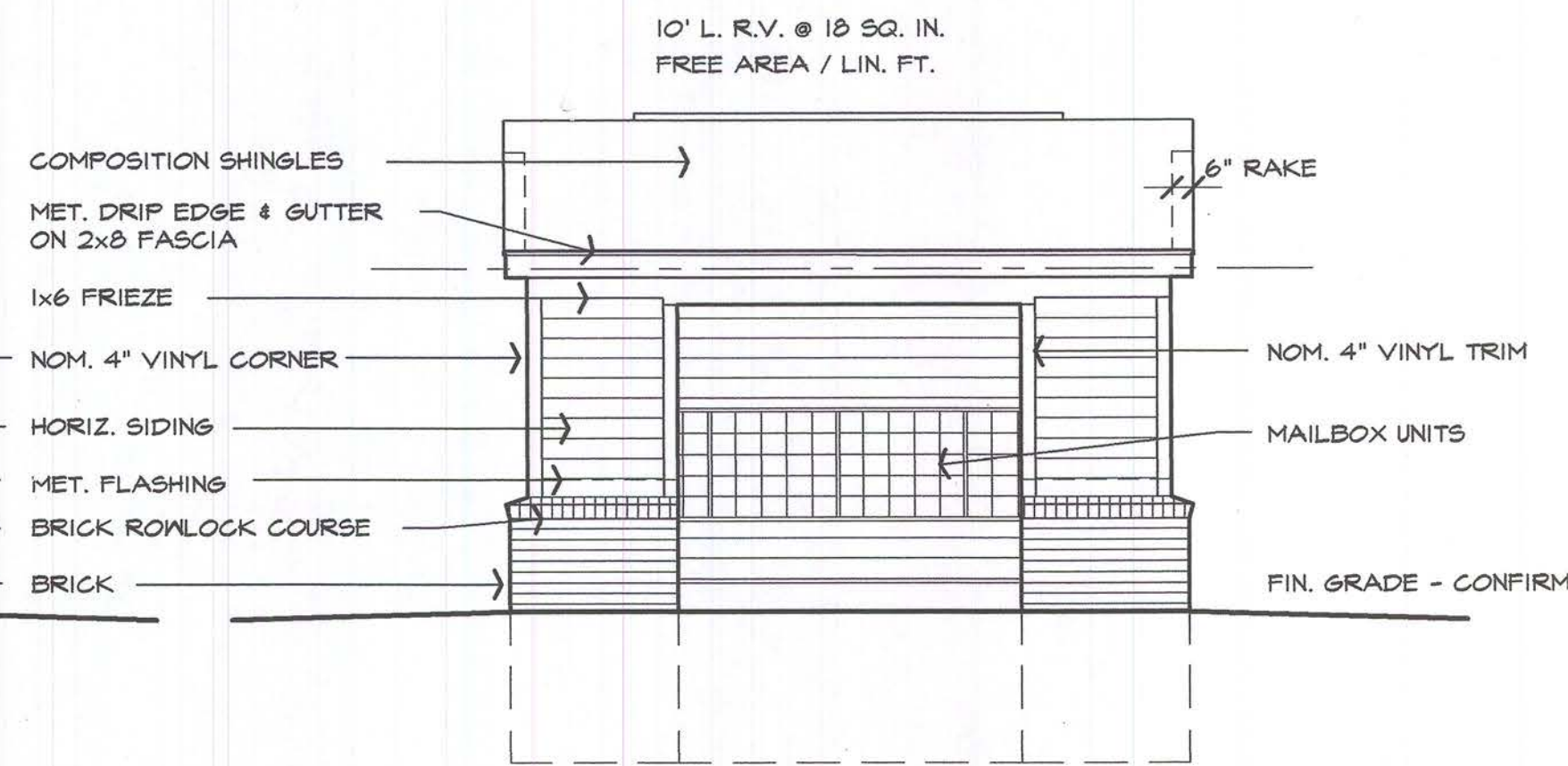
PARCEL BOXES
14 3/8" x 10 3/8" x 15" d
6 3/8" x 5 1/8" x 15" d
LETTERBOXES

LETTERBOX UNITS:
FRONT LOADING, US POST OFFICE
APPROVED, SUPREME SERIES HORIZ.
LETTERBOXES BY CUTLER MANUF. CORP.
OR APPROVED EQUAL, US 28 FINISH

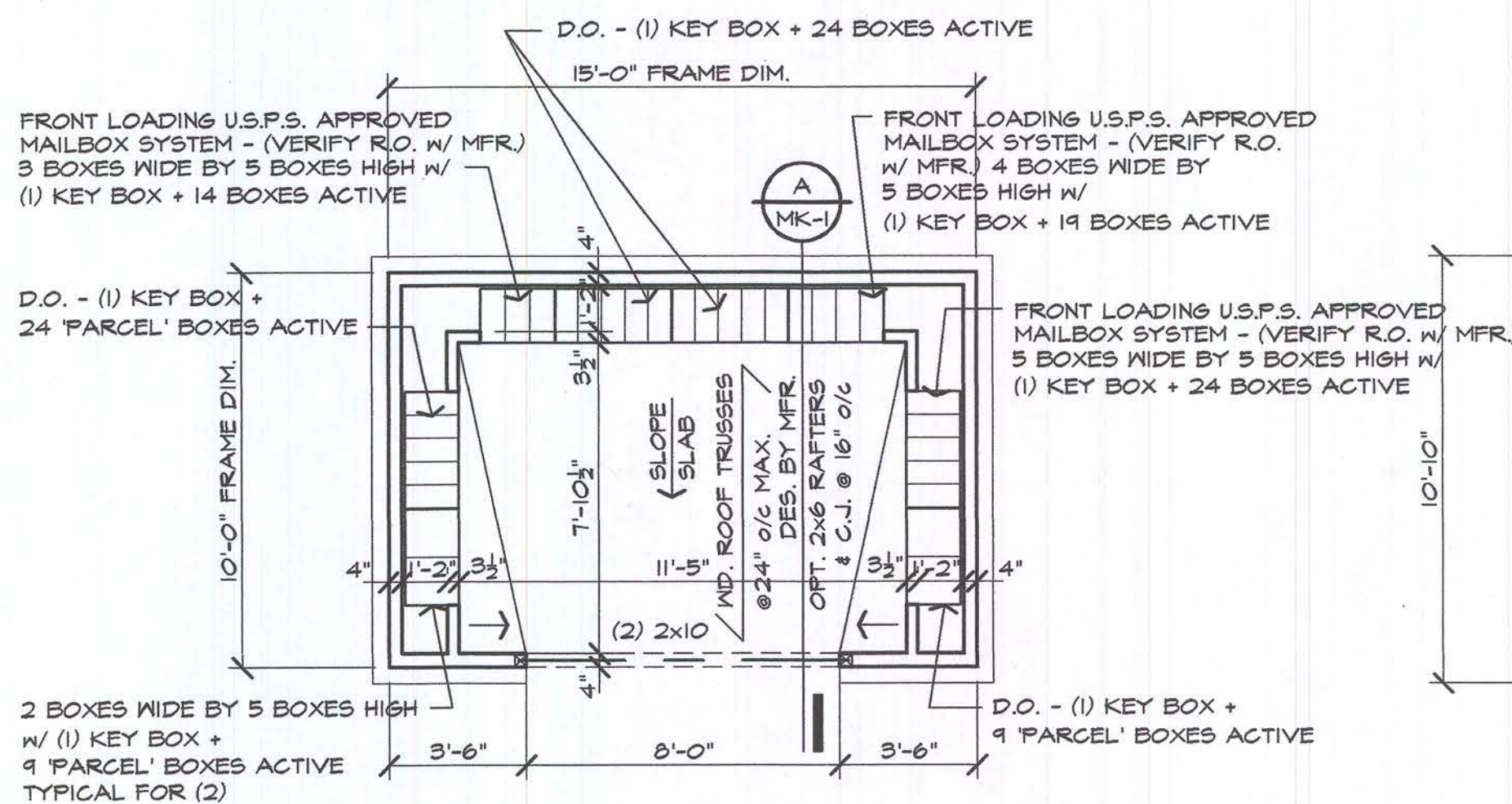
PARCEL BOX UNITS:
FRONT LOADING, US POST OFFICE
APPROVED, HORIZ. PARCEL LOCKER
TYPES PLA & FLB BY CUTLER MANUF.
OR APPROVED EQUAL, US 28 FINISH



TYP. END ELEVATION
SCALE: 1/4" = 1'-0"



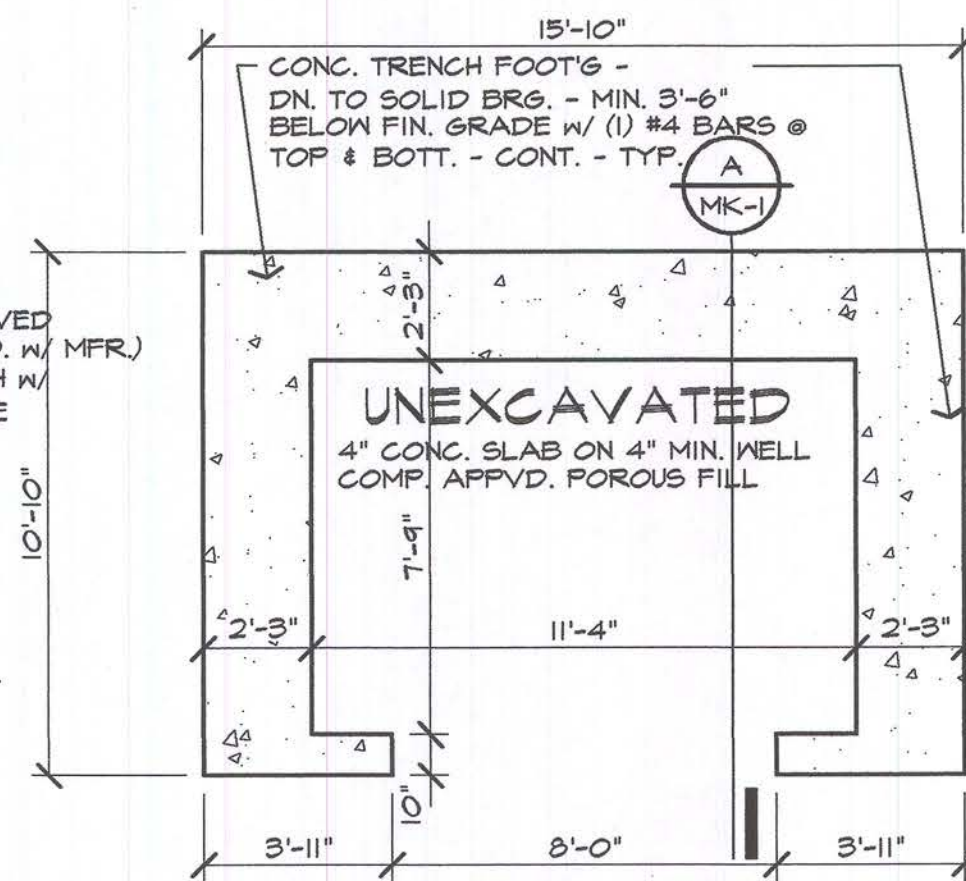
FRONT ELEVATION
REAR - SIM. SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:

- APPROACH SHALL BE FLUSH TO KIOSK SLAB.
- SLOPE CONC. 1/4" MAX., 1/8" - MIN. / PER FT. FOR DRAINAGE. - SEE PLAN



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

Developer:
FIELEK LAND
DEVELOPMENT, L.L.C.
South Lyon, Mi.

Project:

WORTHINGTON
APARTMENTS

LESLIE, MICHIGAN

Sheet Title:

MAIL KIOSK
PLANS, ELEVATIONS,
& DETAILS

Project Number: 03-161

Drawn: SM

Checked: GA

Date: 12-16-03

Sheet Number:

MK-1

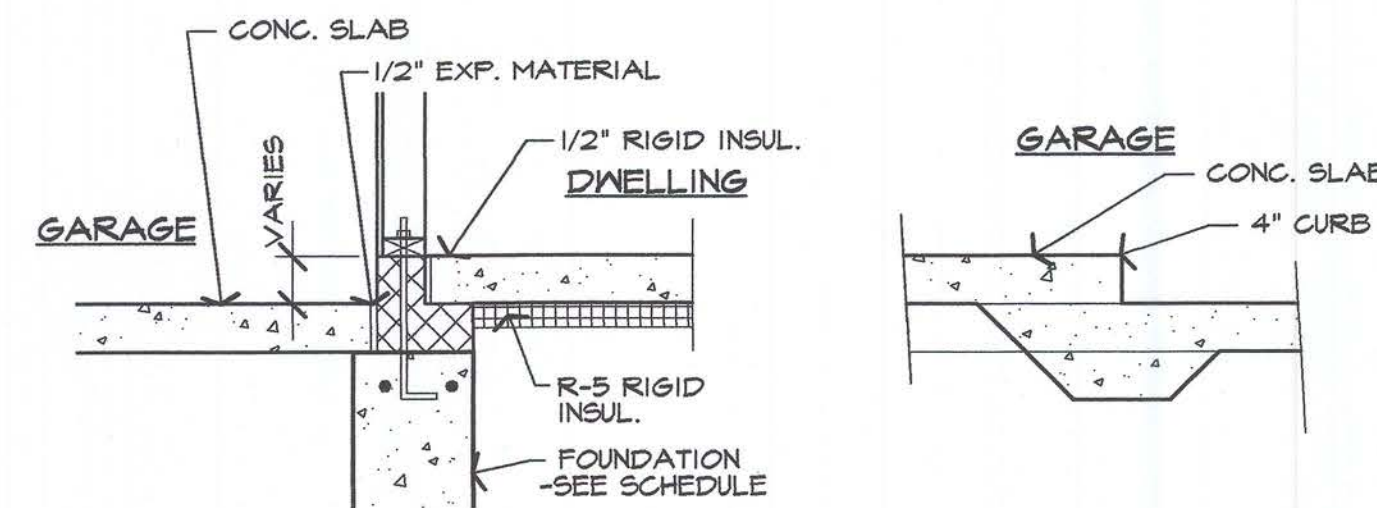


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FOUNDATION LEGEND

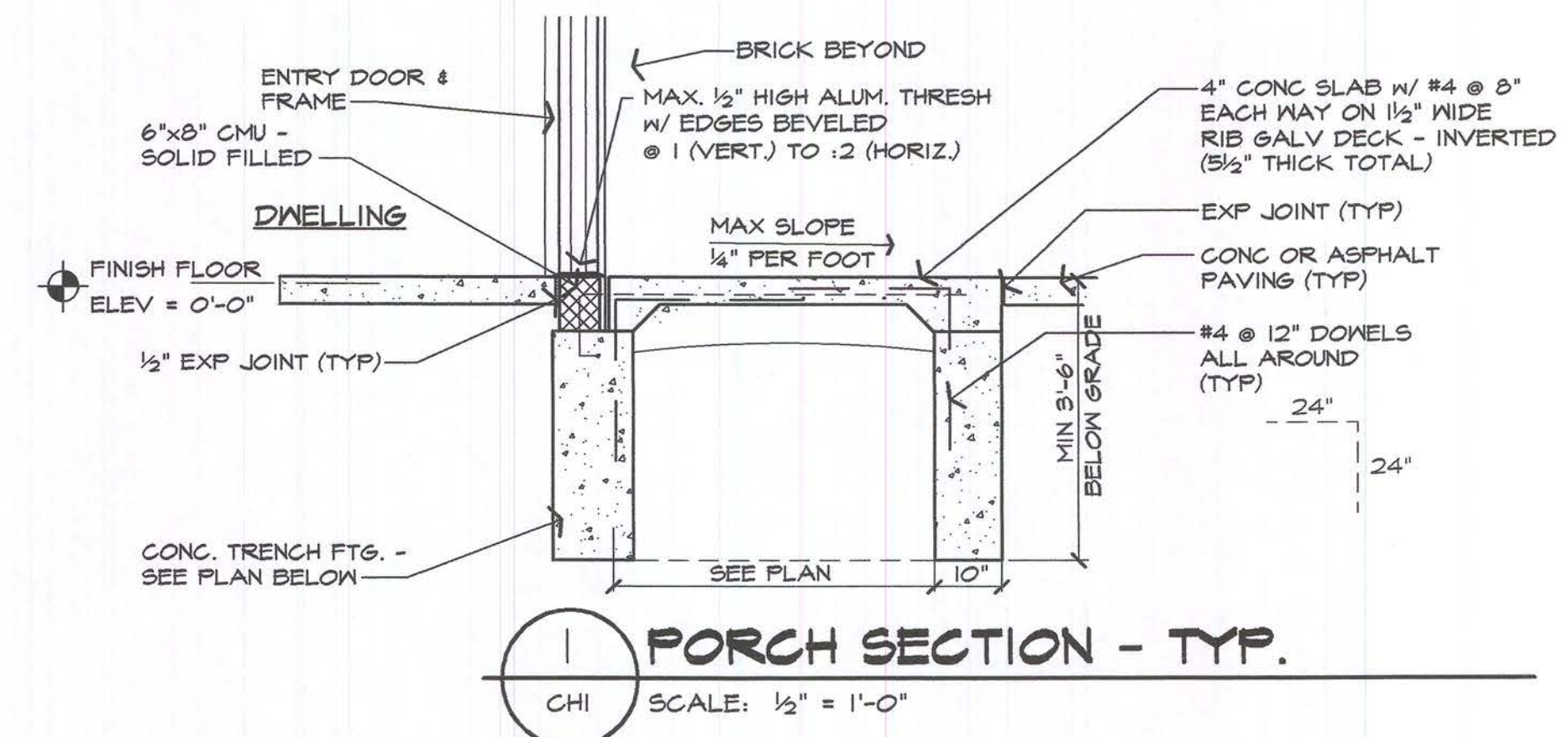
(MIN. 2500 PSF SOIL BEARINGS)

- (A) 10" WIDE TRENCH
(2) #5 BARS T&B
- (B) 12" WIDE TRENCH
(2) #5 BARS T&B
- (C) 16" WIDE TRENCH
(2) #5 BARS T&B



3 FOUNDATION DETAIL
CHI SCALE: 3/4" = 1'-0"

2 FOUNDATION DETAIL
CHI SCALE: 3/4" = 1'-0"



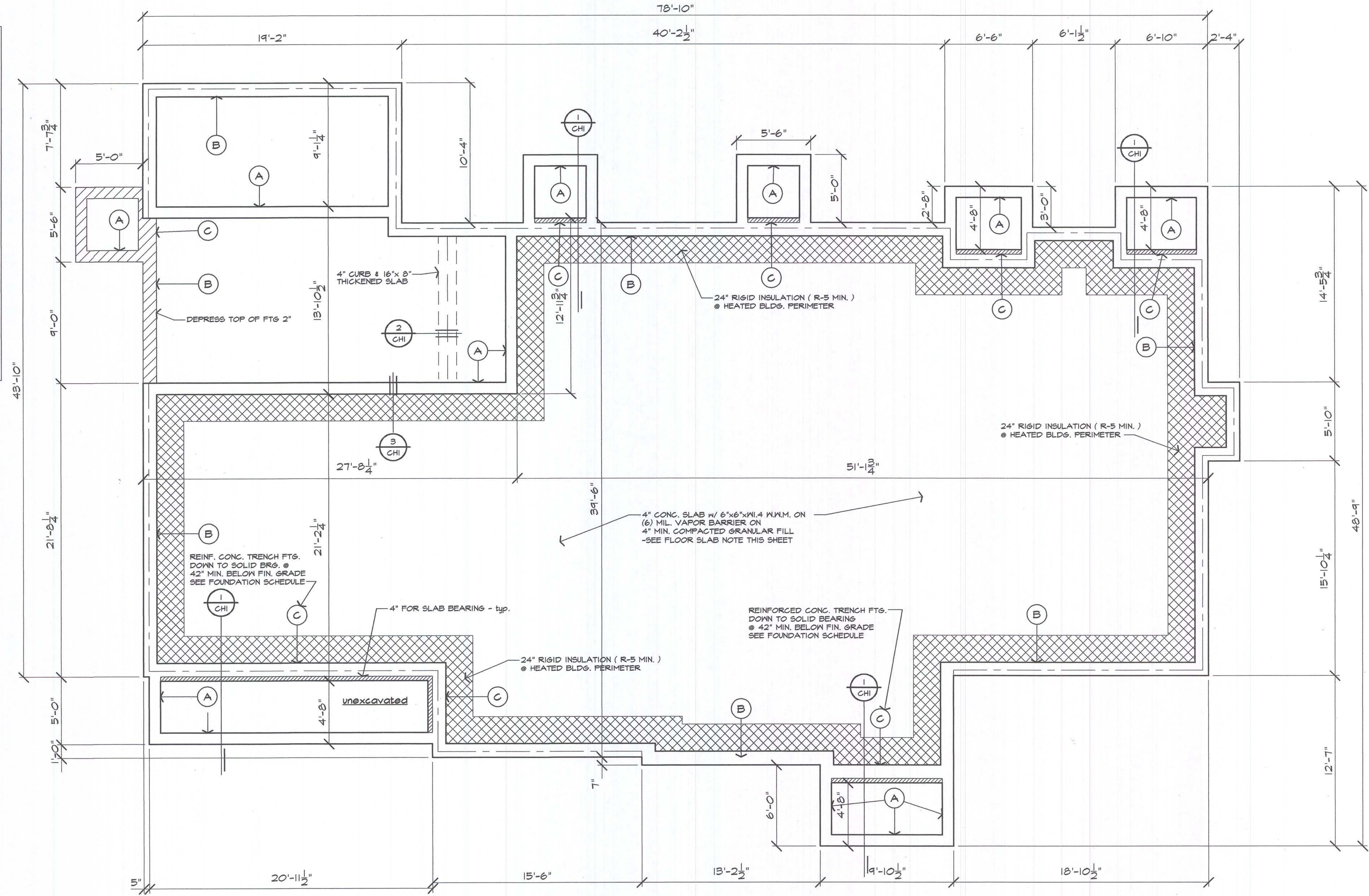
1 PORCH SECTION - TYP.
CHI SCALE: 1/2" = 1'-0"

GENERAL NOTES:

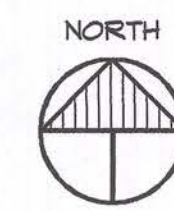
- REFER TO SOILS INVESTIGATION REPORT FOR THE CAPTIONED PROJECT. FOLLOW THE RECOMMENDATIONS, UNLESS OTHERWISE DIRECTED IN WRITING BY THE SOILS ENGINEER BASED ON FIELD CONDITIONS.
- ALL FOOTINGS SHALL BEAR ON SOIL OF MINIMUM 2500 P.S.F. BEARING CAPACITY IN ACCORDANCE WITH SOILS INVESTIGATION AND ANY/ALL ADDENDA. SEE FOUNDATION SCHEDULE - THIS SHEET.
- ALL EARTHWORK OPERATIONS SHALL BE ACCOMPLISHED UNDER THE DIRECT SUPERVISION OF A LICENSED SOILS ENGINEER. FIELD CONFIRM SOILS CONDITIONS / CAPACITIES/ SOILS ENGINEER AT THE TIME OF EXCAVATION.
- FOOTINGS SHALL BE EXTENDED DOWN AS NECESSARY TO BEAR ON FIRM UNDISTURBED OR ENGINEERED FILL SOIL, AS DIRECTED BY THE SOILS ENGINEER.
- CONFIRM ALL FINISH GRADES & FINISH FLOOR ELEVATIONS W/ APPROVED SITE ENGINEERING.
- PROVIDE STEPPED FOOTINGS & LEDGES AS REQUIRED. CONFIRM LOCATIONS & EXTENTS W/ GENERAL CONTRACTOR TO ACHIEVE THE LEVEL OF STRIP FOOTINGS. THE FOOTINGS SHALL BE GRADUALLY STEPPED AT A GRADE NO STEEPER THAN TWO UNITS HORIZONTAL TO ONE VERTICAL.
- THE FOUNDATION DESIGN PRESENTED HERE-IN IS FOR RELATIVELY SHALLOW CONVENTIONAL TRENCH TYPE FOOTINGS & SLAB ON GRADE CONSTRUCTION. WHERE UNSUITABLE SOIL IS DETERMINED TO EXIST, THE DEVELOPER SHALL REMOVE OBJECTIONABLE SOILS & INSTALL ENGINEERED FILL AS DIRECTED, & IN ACCORDANCE W/ THE RECOMMENDATIONS OF THE SOILS ENGINEER.

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1 FOUNDATION PLAN
CHI SCALE: 1/4" = 1'-0"



Developer:
FIELEK LAND DEVELOPMENT, L.L.C.
South Lyon, Michigan

Project:

CLUBHOUSE @ WORTHINGTON APARTMENTS

Leslie, Michigan

Sheet Title:

FOUNDATION PLAN

Project Number: 03-161
Drawn: RGG
Checked: PA
Date: 9.15.03
Sheet Number:

CH1.0

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GENERAL NOTES:

1. VERIFY ALL FRAMING WITH APPROVED SHOP DRAWINGS. IF GIRDERS BEAR @ LOCATIONS NOT INDICATED, OR OVER HEADERS WHERE NOT INDICATED, NOTIFY THE ARCHITECT FOR EVALUATION OF HEADER SIZE, AND/OR POST SIZE.
2. PROVIDE SOLID WOOD BLOCKING IN ALL FLOOR CONSTRUCTION BELOW WOOD POSTS TO BEAM OR TO FOUNDATION WALL BELOW.
3. ALL INTERIOR NON-LOAD BEARING DOOR & ARCHWAY HEADERS @ OPENINGS GREATER THAN 3'-4", SHALL BE (2)2x4 U.N.O.
4. COORDINATE & ADJUST TRUSS SPACING AS REQUIRED TO ACCOMMODATE WATER CLOSETS, TUB TRAPS, FLOOR DRAINS, HVAC DUCTS, ETC. TRUSS SPACING SHALL NOT EXCEED SPECIFIED DIMENSION.
5. VERIFY & COORDINATE DRYER DUCT LENGTH & ROUTING WITH DRYER MFR. & LOCAL BUILDING DEPARTMENT. DRYER DUCT SHALL BE RIGID METAL. CAP SHALL HAVE A 4" DISCHARGE -REFER TO MECH. DRWG'S FOR SPECIFICATIONS & REQ'TS.
6. ALL INTERIOR BEARING & NON-BEARING WALLS SHALL BE 5/8" TYPE 'X' GYP. BD. EA. SIDE 2x4 WOOD STUDS @ 16" o/c w/ DOUBLE TOP PLATE, U.N.O.
7. PROVIDE BLOCKING FOR ALL ITEMS TO BE ATTACHED TO INTERIOR OR EXTERIOR WALLS, INCLUDING BUT NOT LIMITED TO, BLOCKING FOR CABINETS, TOWEL BARS, LIGHT FIXTURES, GRAB BARS, (INCLUDING FUTURE GRAB BARS IN ACCORDANCE WITH THE FAIR HOUSING ACCESSIBILITY ACT @ 1st FLR. DWELLINGS), WHERE APPLICABLE.
8. ALL ACCESS PANELS IN WALLS AND CEILINGS SHALL BE NEATLY TRIMMED WITH WOOD CASING. MITER ALL CORNERS.
9. ALL ENTRANCE/EGRESS DOORS SHALL HAVE A MAX. 1/2" HIGH THRESHOLD w/ 1 : 2 (VERT. : HORIZ.) BEVELED EDGE.
10. VERIFY & COOR EQUIPMENT LAYOUT w/ POOL, ELECT, & THE PLUMBING CONTRACTORS. VERIFY w/ OWNER IF A POOL HEATER IS TO BE INSTALLED. IF SO, PROVIDE COMBUSTION & DILUTION AIR PER MECH CODE REATS.
11. D.S. = LINE @ DRAFTSTOPPING. DRAFTSTOP TO BE 1/2" GYP. BD. OR 3/8" O.S.B. TIGHT TO UNDERSIDE OF ROOF SHEATHING. SEAL PERIMETER OF ALL DUCT PENETRATIONS. PROVIDE 36"x48" SELF-CLOSING ACCESS DOOR w/ LATCH & PULL.
12. INSTALL COMBUSTION - AIR GRILLE IN CEILING, PROVIDING MINIMUM 165 SQ. IN. NET FREE AREA, FOR FUTURE POOL HEATER. VERIFY LOCATION w/ POOL CONTRACTOR. THE COMBUSTION AIR OPENING SHALL BE PROVIDED w/ A SLEEVE OF NOT LESS THAN 0.019 INCH (NO. 26 GA.) GALVANIZED STEEL OR OTHER APPROVED MATERIAL EXTENDING FROM THE APPLIANCE ENCLOSURE TO AT LEAST 6" ABOVE THE TOP OF THE CEILING JOISTS & INSULATION.

BUILDING & CODE DATA:

1st FLOOR AREA = 3144 sq. ft. TO EXTERIOR FACE OF SHEATHING INCLUDING COVERED PORCHES

BUILDING HEIGHT = (1) STORY @ 18'

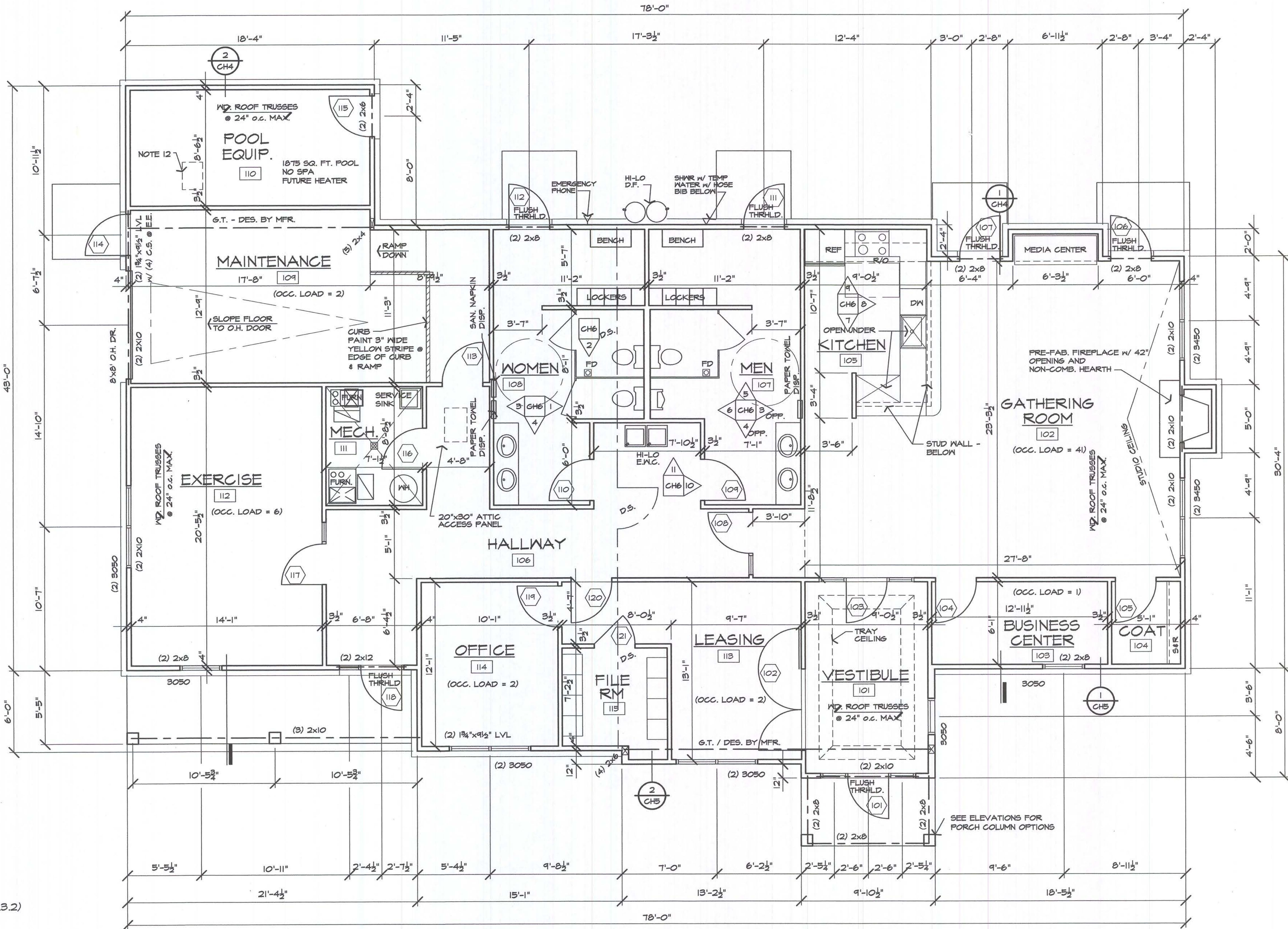
PROPOSED NON-SEPARATED MIX USES (302.3.2) - A3, B, S1 ALLOWABLE BUILDING AREA & HEIGHT BASED ON MOST RESTRICTIVE USE & HEIGHT PER TABLE 503 FOR TYPE 5B CONSTRUCTION :

6,000 S.F. / FLR. (1) STORY - 40' HT.

PROPOSED CONSTRUCTION = 5B

REQUIRED FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS (TABLE 601) :

EXTERIOR & INTERIOR BEARING WALLS	(0) HR.
FLOOR CONSTRUCTION	(0) HR.
ROOF CONSTRUCTION	(0) HR.
SEPARATION BETWEEN USES	(0) HR. (302.3.2)
EXTERIOR & INTERIOR NON - BEARING WALLS	(0) HR.



FLOOR PLAN

SCALE: 1/4" = 1'-0"
AREA: 2980 S.F.
TO EXTERIOR WALL SHEATHING

NOTE: SEE DETAILS 3 & 4 / CH 5.0,
FOR WATER LINE ENCLOSURE WHERE
WATERLINES ARE LOCATED IN ATTIC



VENTILATION REQUIREMENTS

ROOM	AREA SQ. FT.	VENT. REQ'D. @ 4% - SQ. FT.	WINDOW / DOOR
GATHERING ROOM / KITCHEN	670 SQ. FT.	26.8	65
LEASE	161 SQ. FT.	6.5	12
OFFICE	120 SQ. FT.	4.8	12
EXERCISE	286 SQ. FT.	11.4	16.9
BUSINESS CENTER	78 SQ. FT.	3.1	6

838 W. Long Lake #250
Bloomfield Hills, MI 48302
248 540-5940 Fax 248 540-4820
Email: pai@progressiveassociates.com



Issued For:

REVIEW
11-27-02

REVISED
12-4-02

REVISED
1-14-03

REVISED
8-11-03

REVISED
9.4.03

DEVELOPER REVIEW
10-15-03

PERMIT/BIDS
2-9-04

Developer:

FIELEK LAND
DEVELOPMENT, L.L.C.
South Lyon, Michigan

Project:

CLUBHOUSE
@ WORTHINGTON
APARTMENTS

Leslie, Michigan

Sheet Title:

FLOOR PLAN

Project Number: 03-161

Drawn: EL/RGG

Checked: PA

Date: 11-26-02

Sheet Number:

CH2.0



Issued For:
DEVELOPER REVIEW
10-15-03

PERMIT/BIDS
2-9-04

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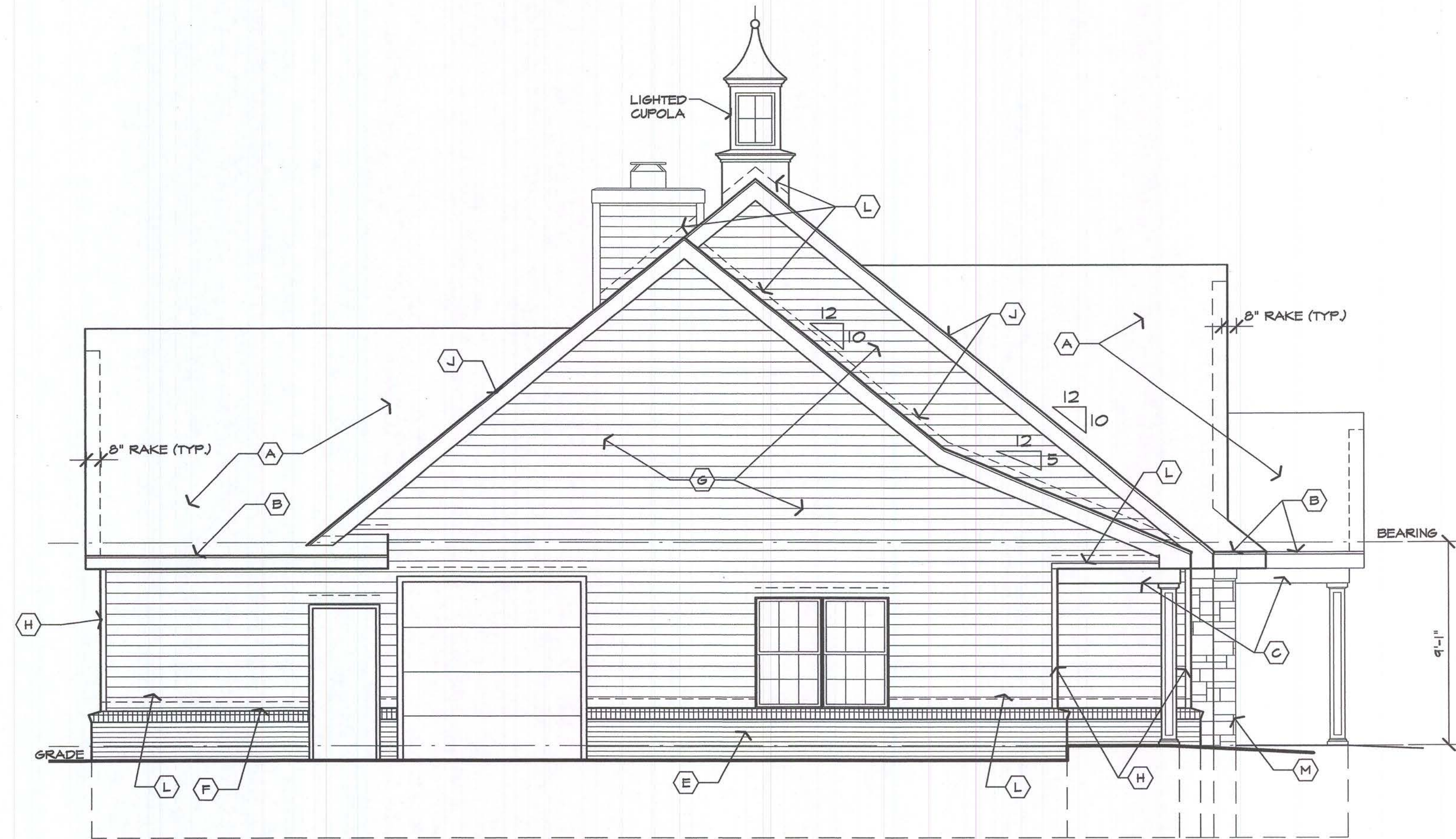
GENERAL NOTES:

1. PROVIDE STEEL LINTEL AND FLASHING W/ KNEEHOLES @ 24" O.C. MAX. - MIN. (2) PER OPENING - @ ALL OPENINGS IN BRICK.
2. PAINT STEEL LINTELS TO MATCH BRICK.
3. PAINT ROOF VENTS, STACKS, & VENTS TO MATCH SHINGLES.
4. ALL TRIM / FASCIA B.DS. TO BE ALUMINUM WRAPPED.

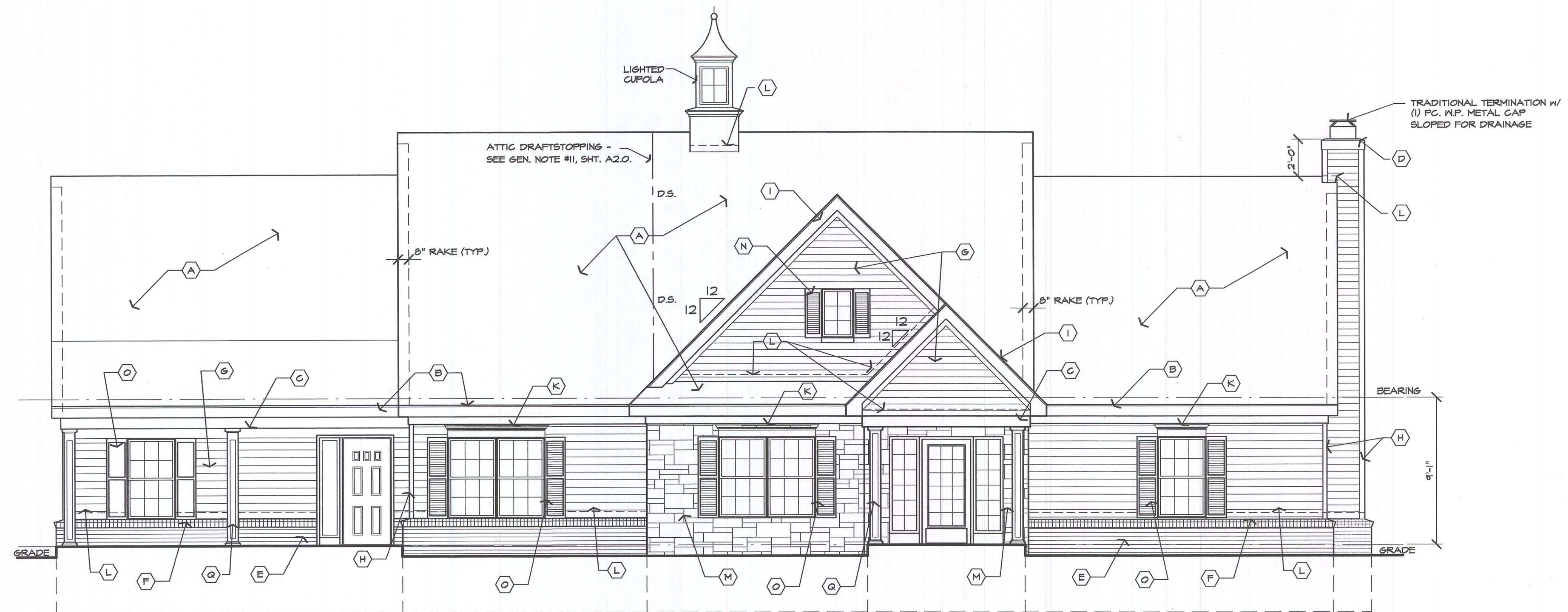
NOTE: SEE REAR ELEV SHT CH3.I FOR ALL TYPICAL VENTILATION NOTES.

MATERIAL SCHEDULE

- (A) ASPHALT SHINGLES
- (B) MET. DRIP EDGE & GUTTER ON 2x8 FASCIA BD.
- (C) 2x6 FRIEZE BD.
- (D) 2x6 TRIM BD.
- (E) BRICK
- (F) BRICK ROWLOCK SILL
- (G) HORIZ. VINYL SIDING
- (H) VINYL CORNER/ TRIM
- (I) 2x8 RAKE BD. W/ 1x4 TRIM BD.
- (J) 2x8 RAKE BD.
- (K) WINDOW HEAD - FYPON No. 085000
- (L) MTL. FLASHING
- (M) CULTURED STONE
- (N) 12" VINYL SHUTTER
- (O) 15" VINYL SHUTTER
- (P) SQUARE VENT W/ MIN. 144 SQ. IN. F.A.
- (Q) 8" x 8" PRE-FIN. STRUCTURAL ALUMINUM PANEL COLUMN ALT. - P.T. 4x4 WD. POST WRAPPED W/ 1x CEDAR - PAINT/STAIN



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"

Developer:
FIELEK LAND
DEVELOPMENT, L.L.C.
South Lyon, Michigan

Project:

CLUBHOUSE
@ WORTHINGTON
APARTMENTS

Leslie, Michigan

Sheet Title:

FRONT &
LEFT SIDE
ELEVATION

Project Number: 03-161
Drawn: RGG
Checked: PA
Date: 9.17.03
Sheet Number:

CH3.0



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10-15-03
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NOTE TO ALL CONTRACTORS :

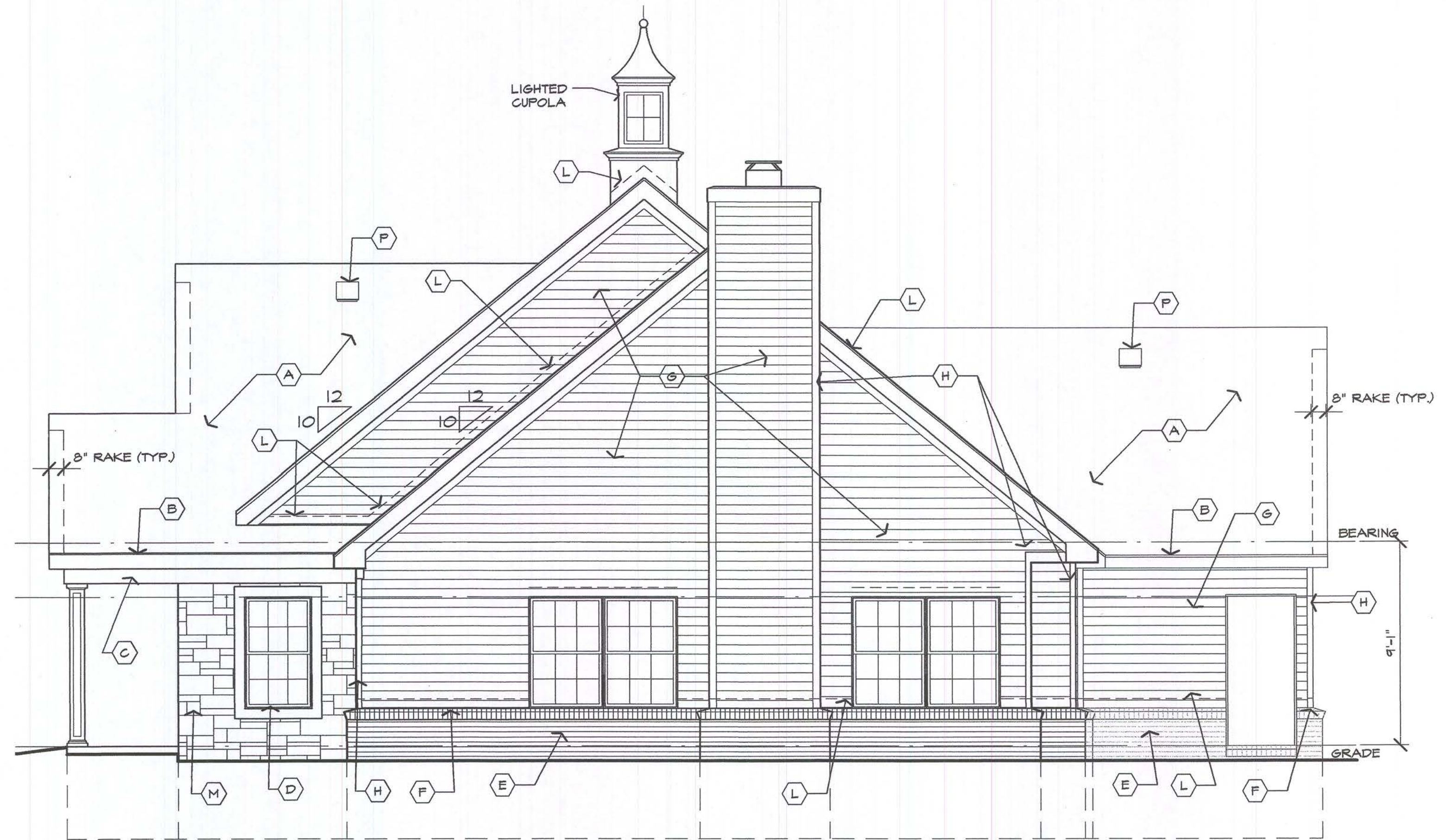
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2. PAINT STEEL LINTELS TO MATCH BRICK.
3. PAINT ROOF VENTS, STACKS, & VENTS TO MATCH SHINGLES.
4. ALL TRIM / FASCIA BDS. TO BE ALUMINUM WRAPPED.

MATERIAL SCHEDULE

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- (E) BRICK
- (F) BRICK ROWLOCK SILL
- (G) HORIZ. VINYL SIDING
- (H) VINYL CORNER/ TRIM
- (I) 2x8 RAKE BD. W/ 1x4 TRIM BD.
- (J) 2x8 RAKE BD.
- (K) WINDOW HEAD - FYFON No. 085000
- (L) MTL. FLASHING
- (M) CULTURED STONE
- (N) 12" VINYL SHUTTER
- (O) 15" VINYL SHUTTER
- (P) SQUARE VENT W/ MIN. 144 SQ. IN. F.A.
- (Q) 8" x 8" PRE-FIN. STRUCTURAL ALUMINUM PANEL COLUMN ALT. - P.T. 4x4 WD. POST WRAPPED W/ 1x CEDAR - PAINT/STAIN



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

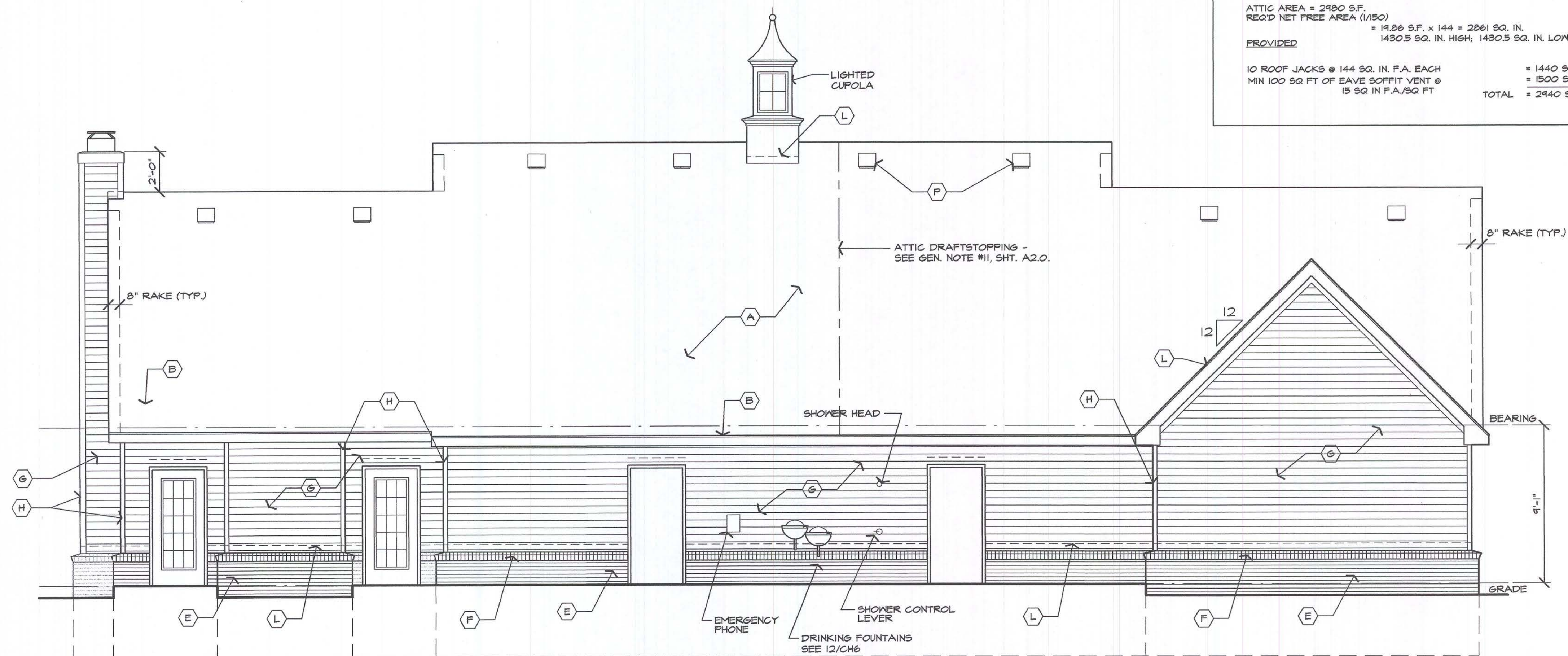
ATTIC VENTILATION ATTIC AREA = 2980 SQ. FT.
149 LIN. FT. OF SOFFIT AVAILABLE x .67 FT. = 100 SQ. FT.

REQUIRED

ATTIC AREA = 2980 S.F.
REQ'D NET FREE AREA (1/150)
= 19.86 S.F. x 144 = 2861 SQ. IN.
1430.5 SQ. IN. HIGH, 1430.5 SQ. IN. LOW

PROVIDED

10 ROOF JACKS @ 144 SQ. IN. F.A. EACH = 1440 SQ. IN.
MIN 100 SQ. FT. OF EAVE SOFFIT VENT @ 15 SQ. IN. F.A./SQ. FT. = 1500 SQ. IN.
TOTAL = 2940 SQ. IN.



REAR ELEVATION

SCALE: 1/4"=1'-0"

Developer:
FIELEK LAND
DEVELOPMENT, L.L.C.
South Lyon, Michigan

Project:

CLUBHOUSE
@ WORTHINGTON
APARTMENTS

Leslie, Michigan

Sheet Title:

REAR &
RIGHT SIDE
ELEVATION

Project Number: 03-161
Drawn: RGG
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Date: 9.17.03
Sheet Number:

CH3.1

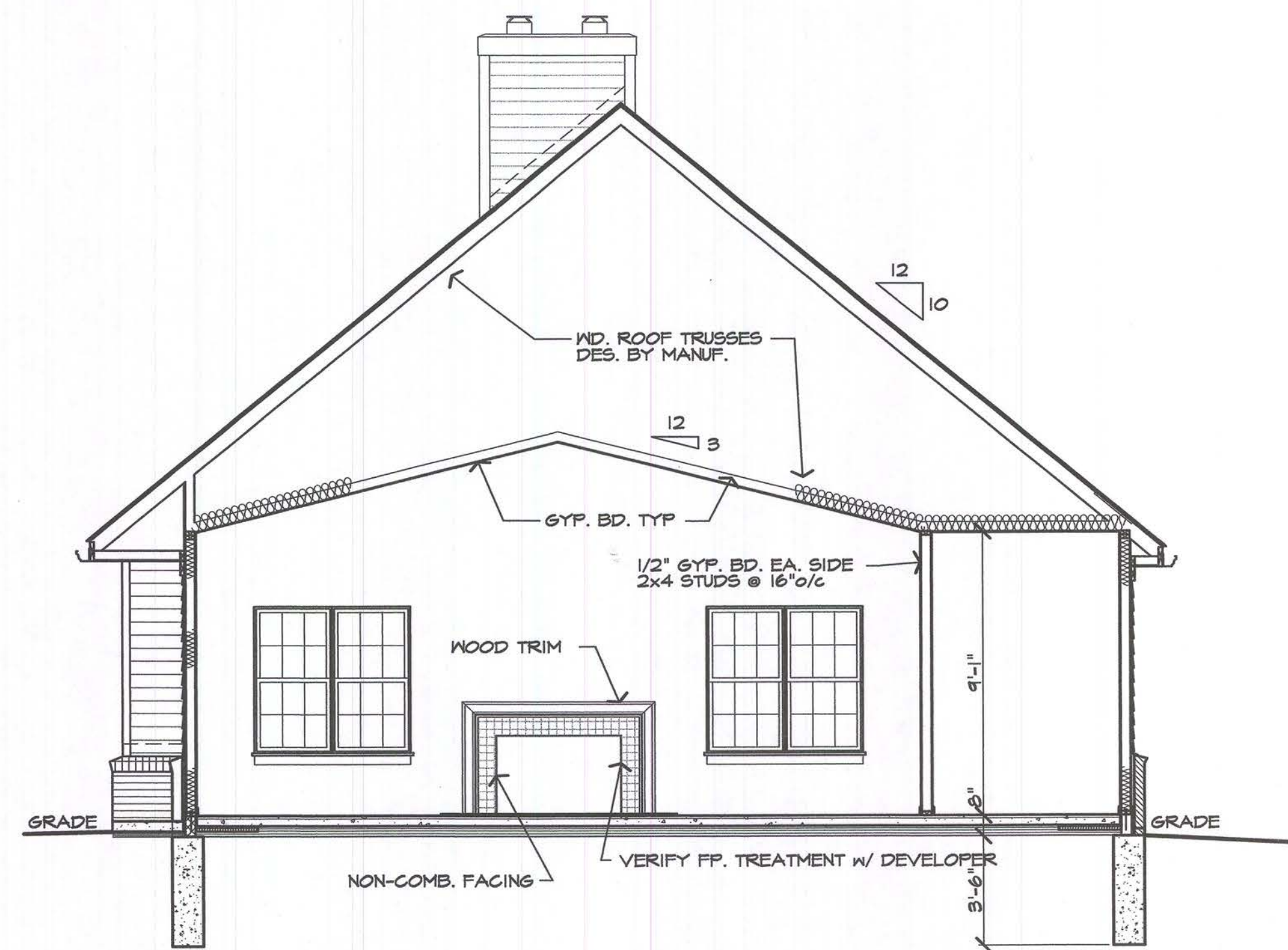
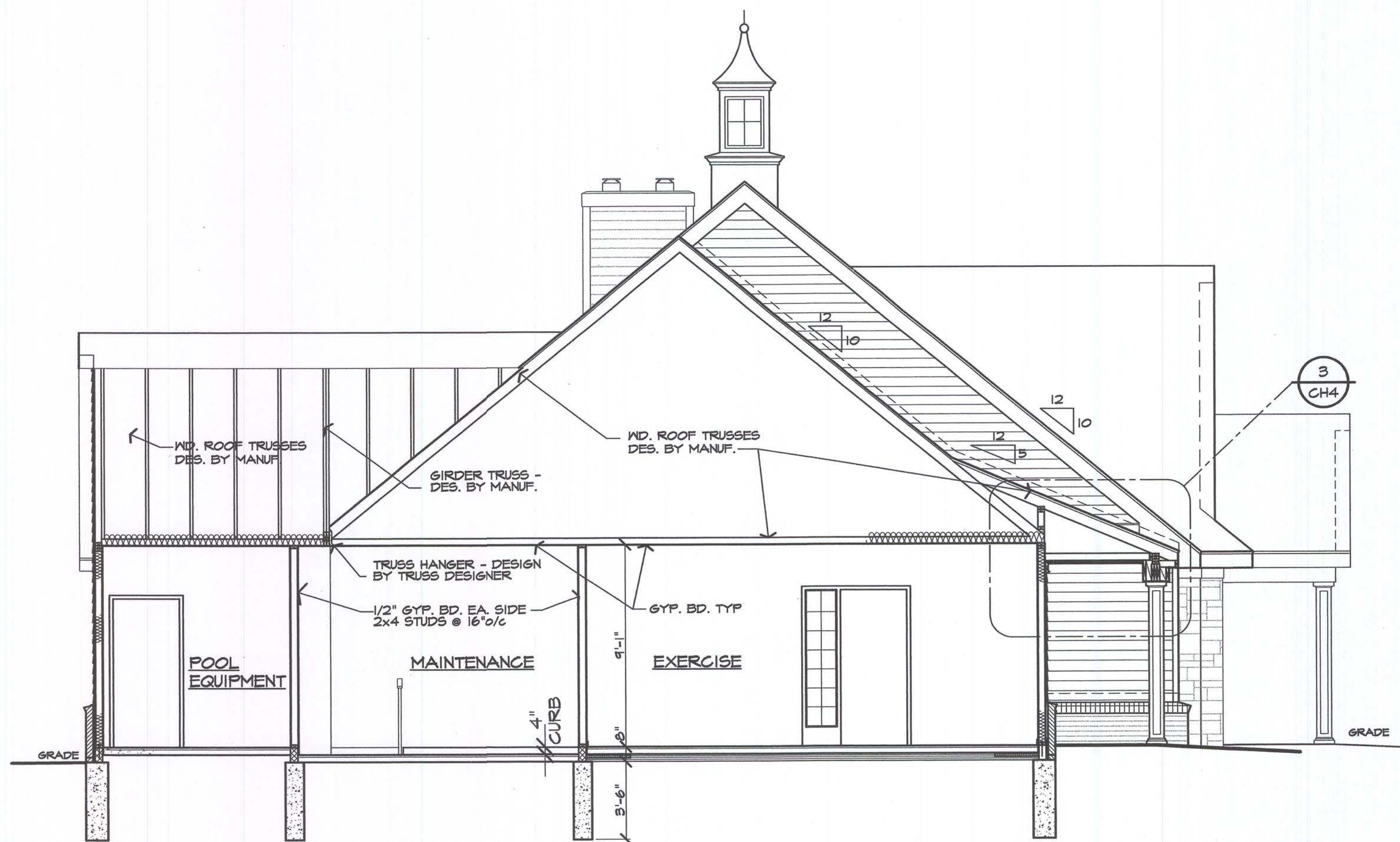
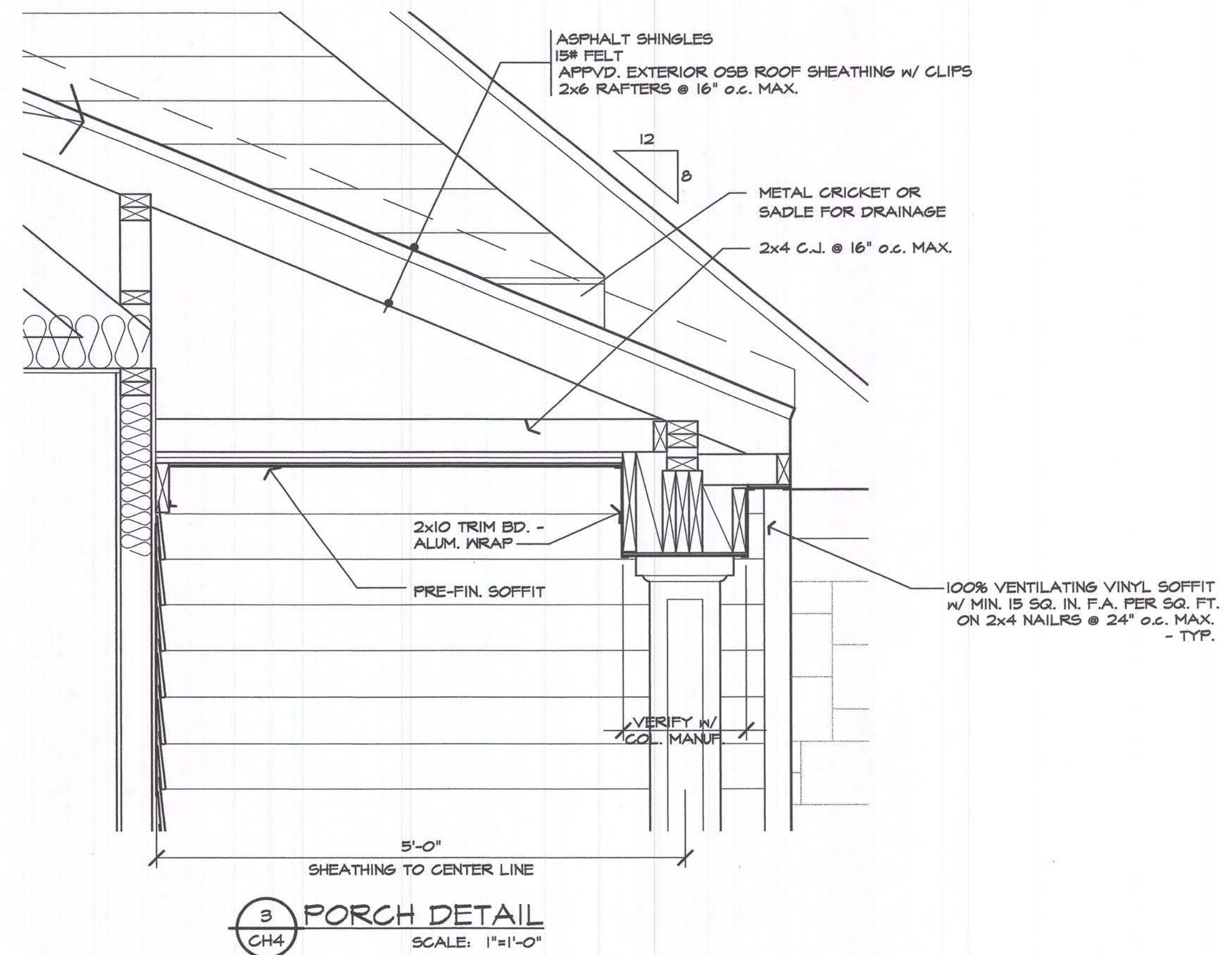


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10-15-03

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2-9-04

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Developer:
FIELEK LAND
DEVELOPMENT, L.L.C.
South Lyon, Michigan

Project:

CLUBHOUSE
@ WORTHINGTON
APARTMENTS

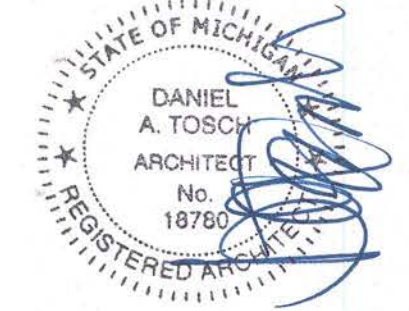
Leslie, Michigan

Sheet Title:

BUILDING
SECTIONS
& DETAILS

Project Number: 03-161
Drawn: RGG
Checked: PA
Date: 9.19.03
Sheet Number:

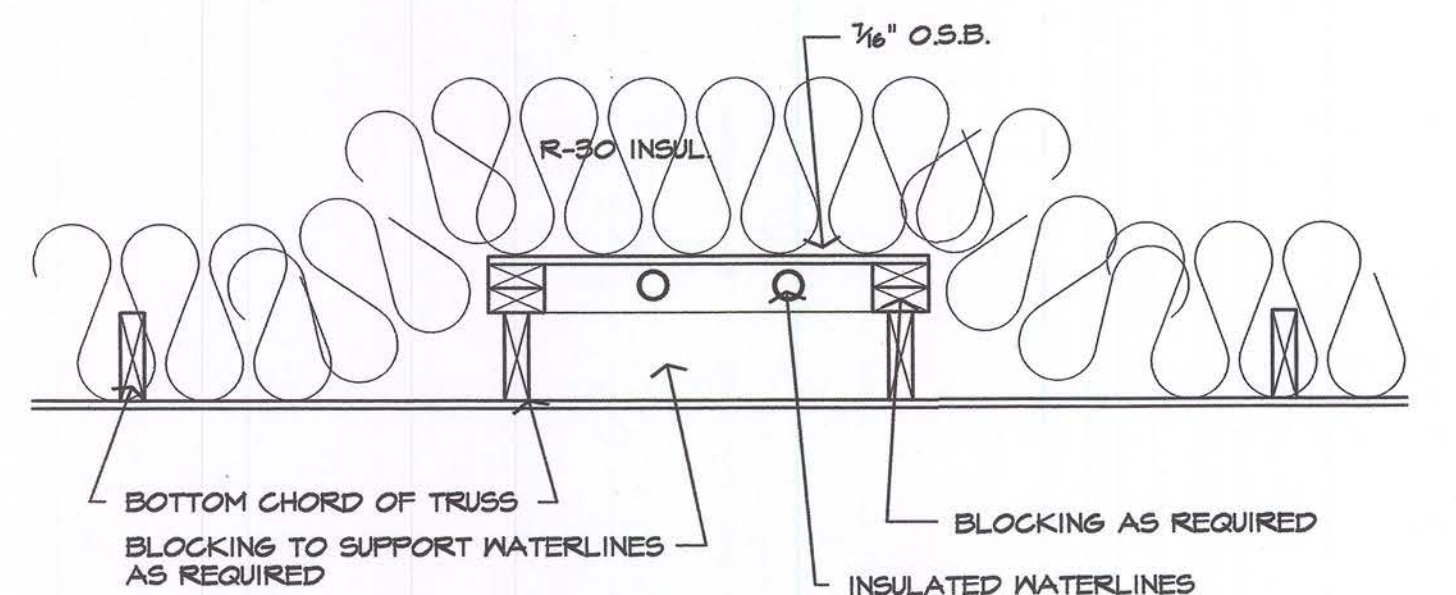
CH4.0



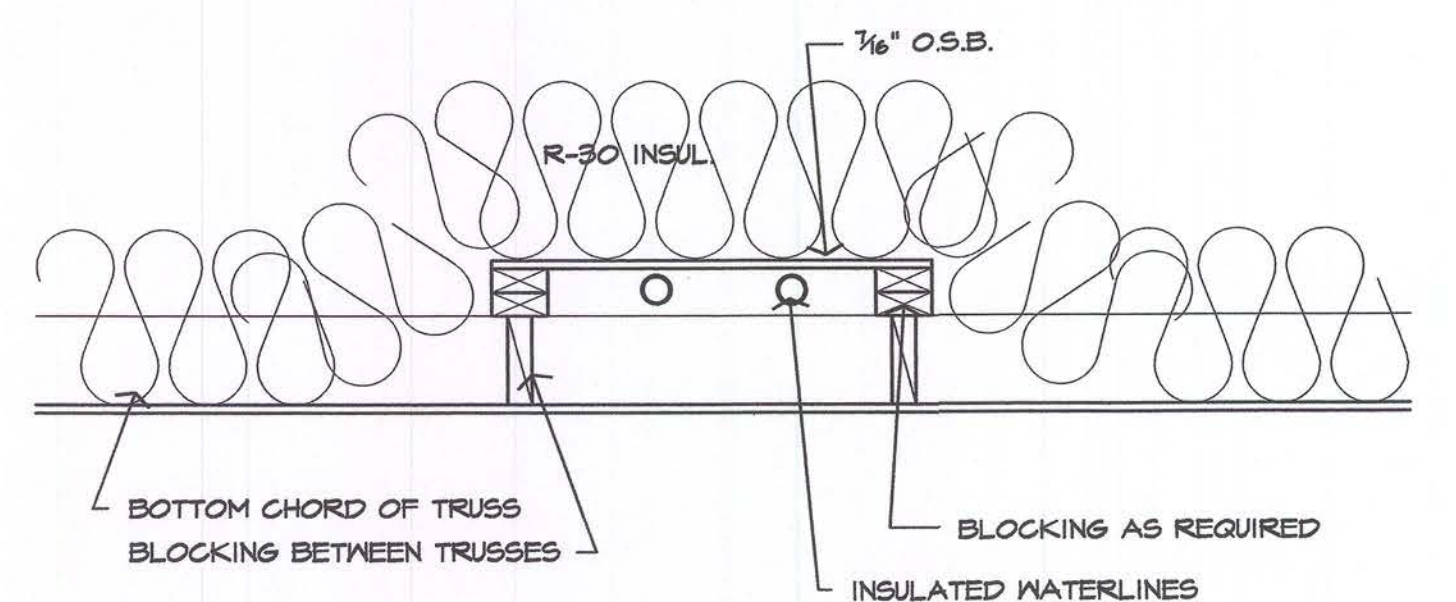
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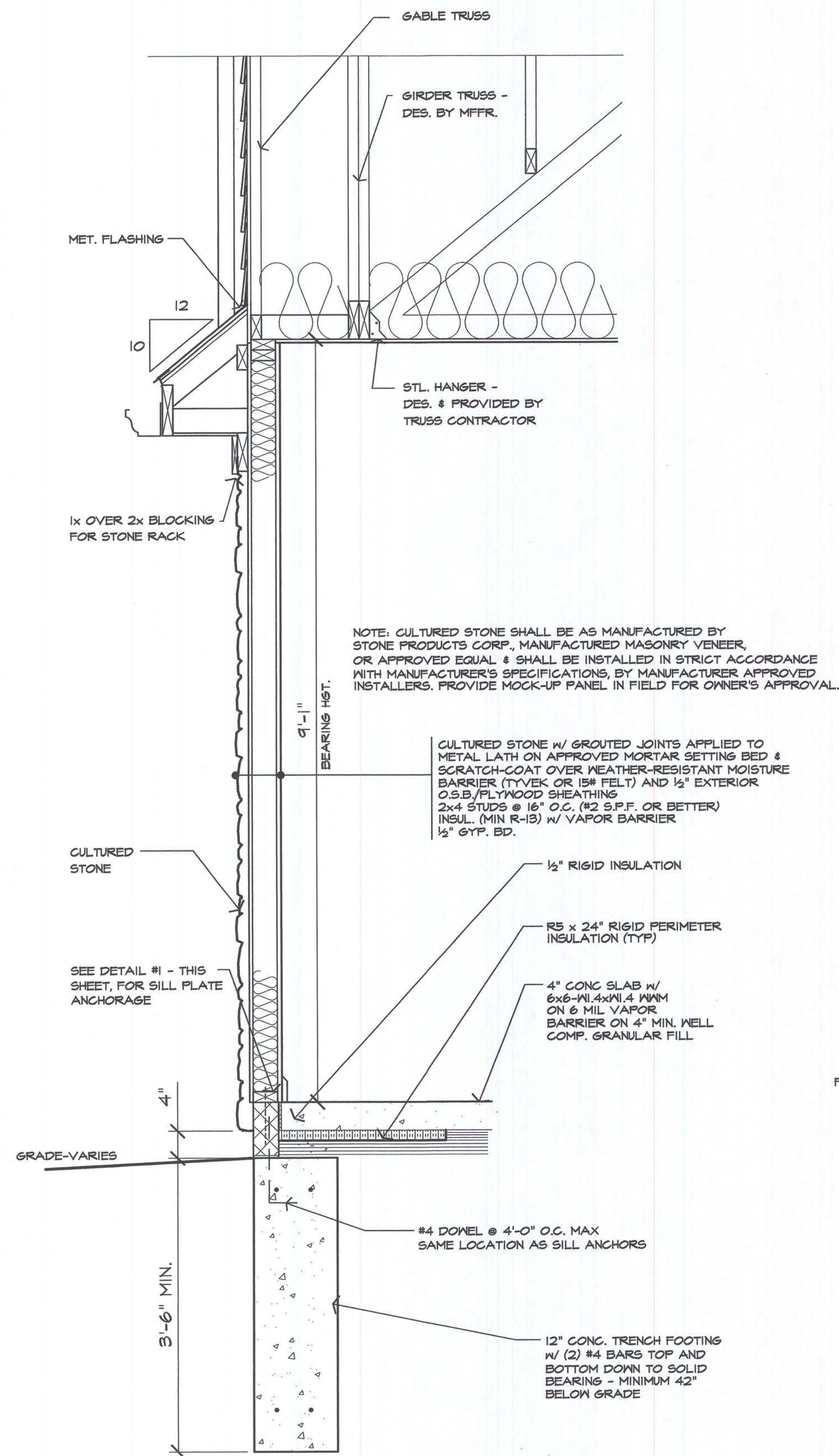


4 WATER LINE ENCLOSURE SCALE: 1"=1'-0"
(IN ATTIC - PARALLEL TO TRUSSES)

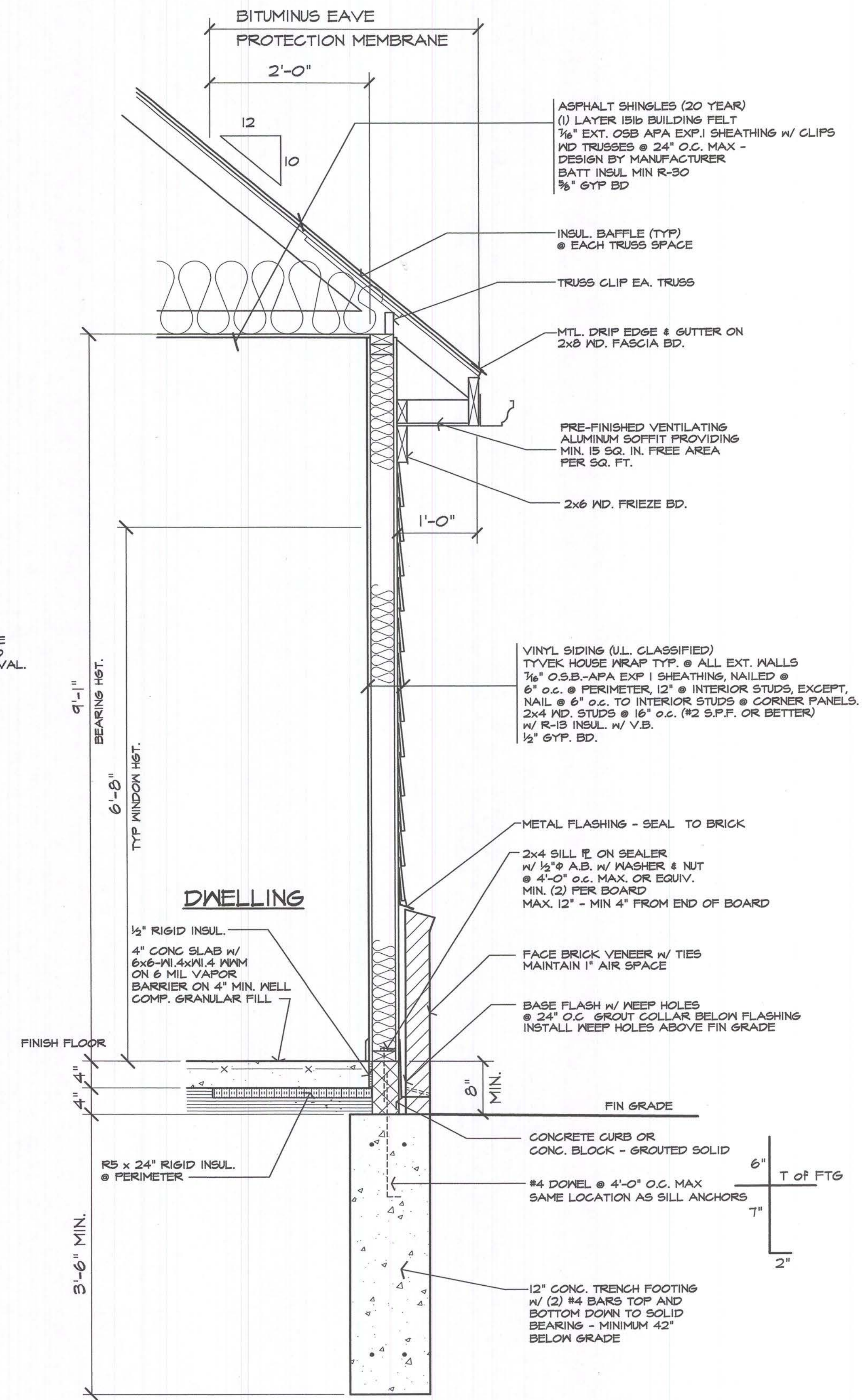


3 WATER LINE ENCLOSURE SCALE: 1"=1'-0"
(IN ATTIC - PERPENDICULAR TO TRUSSES)

NOTE: G.C. & CARPENTER CONTRACTOR TO COORDINATE LOCATIONS OF WATERLINE ENCLOSURES w/ PLUMBING CONTRACTOR.



2 WALL SECTION SCALE: 1"=1'-0"



1 WALL SECTION SCALE: 1"=1'-0"

Developer:
**FIELEK LAND
DEVELOPMENT, L.L.C.**
South Lyon, Michigan

Project:
**CLUBHOUSE
@ WORTHINGTON
APARTMENTS**

Leslie, Michigan
Sheet Title:

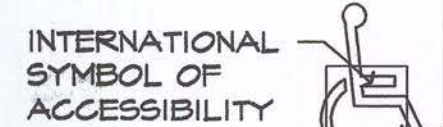
WALL SECTIONS

Project Number: 03-161
Drawn: RGG
Checked: PA
Date: 9.18.03
Sheet Number:

CH5.0

NOTE TO ALL CONTRACTORS :

ALL CONTRACTORS SHALL VERIFY & COORDINATE ALL DIMENSIONS ON DRAWINGS, AS WELL AS REVIEW & COORDINATE PLANS W/ EXTERIOR BLDG. ELEVATIONS, SECTIONS & DETAILS BEFORE COMMENCING WITH THE WORK. IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, BLDG. ELEVATIONS, SECTIONS & DETAILS IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW, & COORDINATE THE WORK, & CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE PLACEMENT OF PART(S) OF THE WORK, SHALL TAKE FULL RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE IMPROPERLY LOCATED OR CONSTRUCTED.

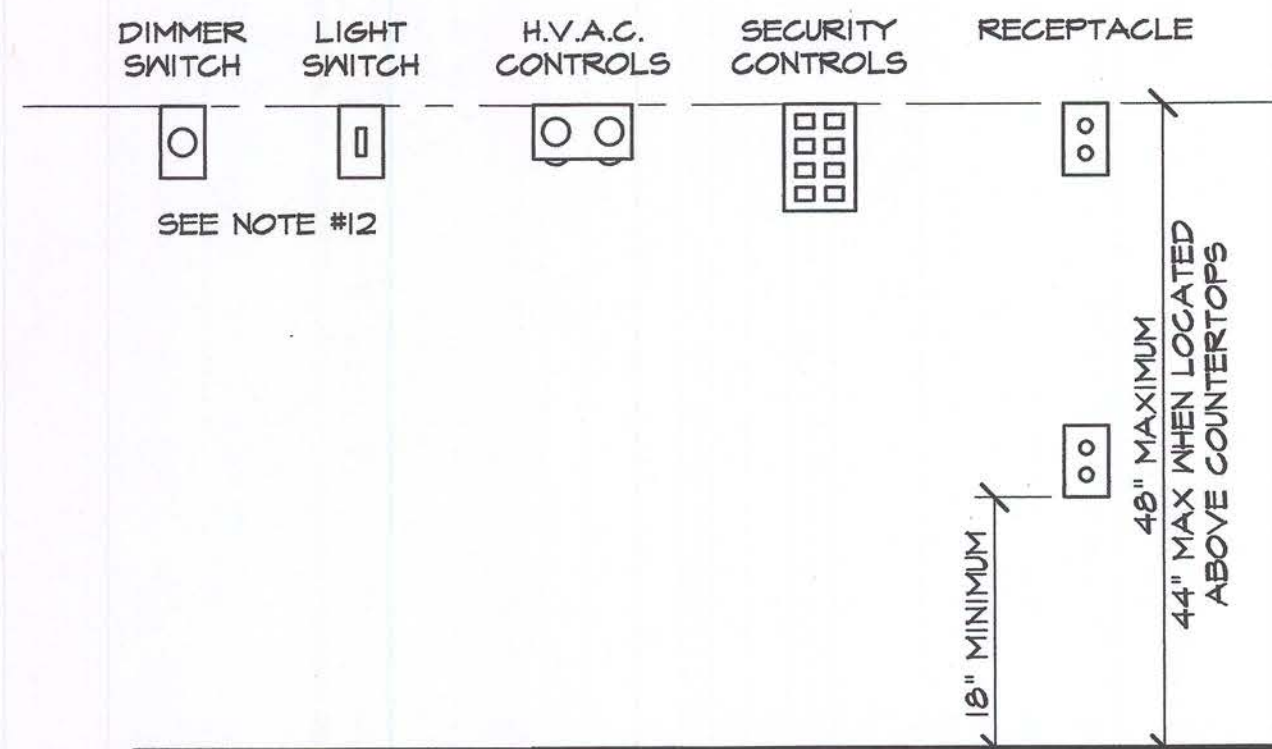


INTERNATIONAL SYMBOL OF ACCESSIBILITY

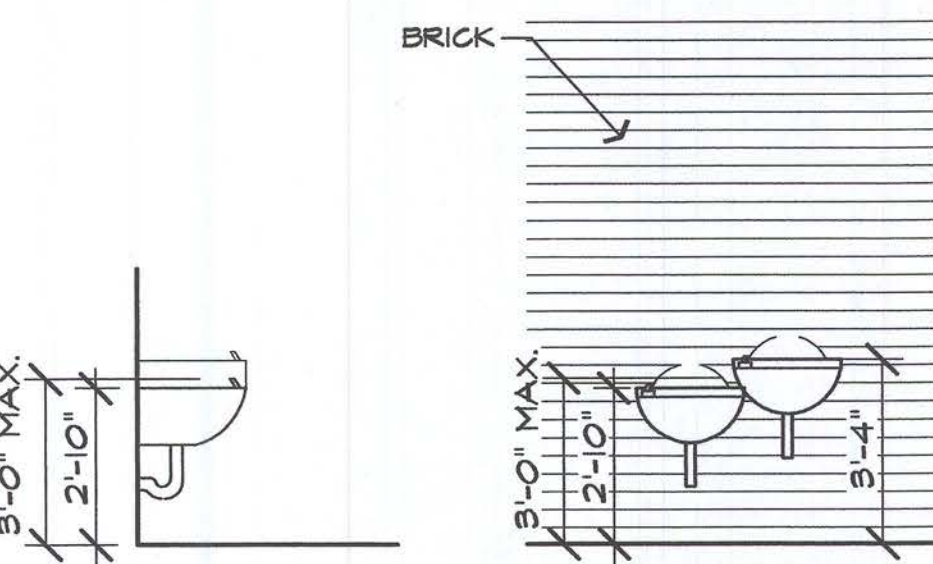
TACTILE SIGN W/ MIN. 1/4" & MAX. 2" LETTER HGT.

ACCESSIBLE PUBLIC TOILET ROOM SIGNAGE

SCALE: 3/8"-1'-0"



ELECTRICAL / MECHANICAL CONTROL
SCALE: NONE

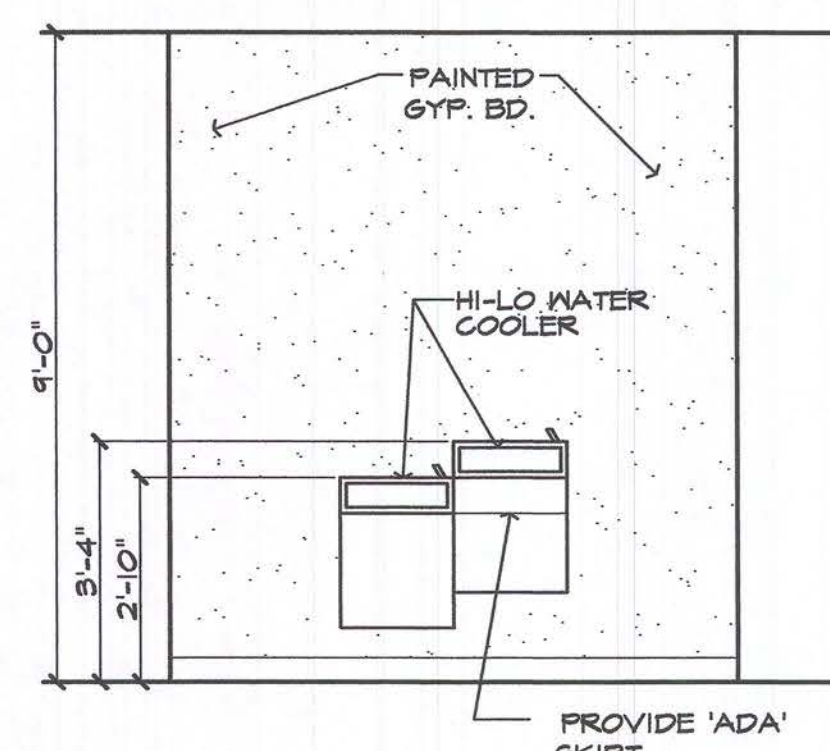


EXTERIOR DRINKING FOUNTAINS
SCALE: 3/8"-1'-0"

GENERAL NOTES:

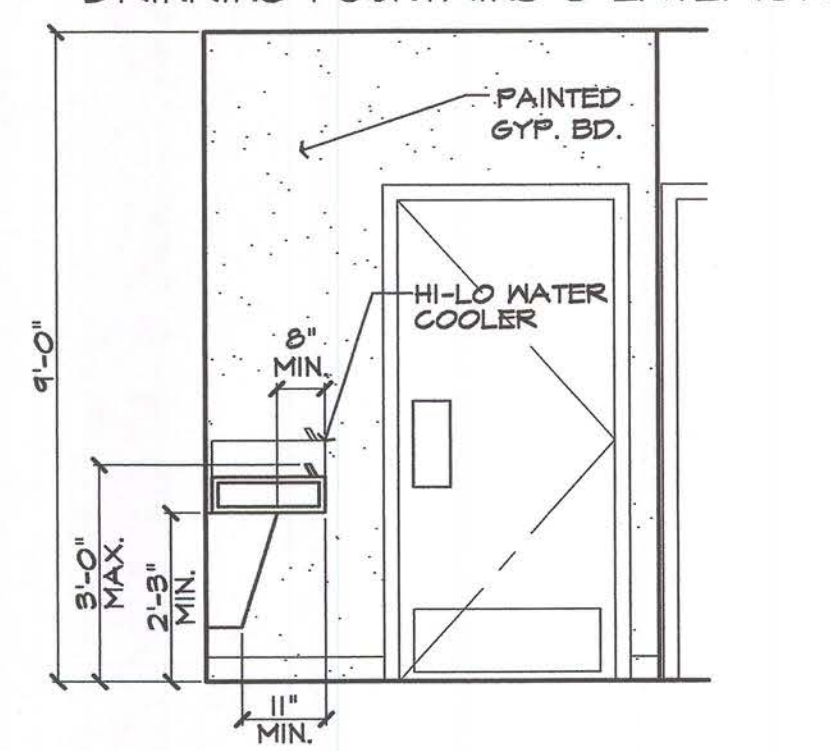
- ALL TOILET ROOMS INDICATED "BARRIER FREE" SHALL COMPLY WITH ALL STATE OF MICHIGAN BARRIER FREE DESIGN LAWS AS ISSUED BY THE BUREAU OF CONSTRUCTION CODES AND THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (28 CFR PART 36) AS ISSUED BY THE DEPARTMENT OF JUSTICE.
 - GRAB BARS SHALL BE 1 1/2" OD WITH 1 1/2" CLEARANCE BETWEEN BAR AND WALL. PROVIDE SOLID BLOCKING IN WALL AT HANDRAIL AND ANCHOR RAIL SO AS TO WITHSTAND A VERTICAL AND HORIZONTAL FORCE OF 250 POUNDS WITH MAXIMUM DEFLECTION OF 1/2".
 - ALL FAUCETS TO HAVE LEVER OR PUSHBUTTON TYPE CONTROLS - 2" MINIMUM LEVERS OR 5# MAXIMUM PRESSURE TO OPERATE PUSHBUTTON.
 - MAXIMUM WATER TEMPERATURE TO WATER OUTLETS SHALL NOT EXCEED 120° F.
 - HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED AND PERMANENTLY WRAPPED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
 - URINALS SHALL BE WALL HUNG WITH AN ELONGATED RIM AT A MAXIMUM OF 11" ABOVE THE FLOOR.
 - FLUSH CONTROL VALVES SHALL BE MOUNTED TO THE WIDE SIDE OF THE TOILET AREA NO MORE THAN 44" ABOVE THE FLOOR.
 - TOILET PAPER DISPENSERS SHALL NOT CONTROL DELIVERY. THEY SHALL PERMIT CONTINUOUS PAPER FLOW.
 - WHEN A LAVATORY IS MOUNTED IN A COUNTER, THE FRONT FACE OF THE BOWL SHALL BE WITHIN 3" OF THE FRONT OF THE COUNTER.

NOTE:
E.W.C.'s @ INTERIOR DRINKING FOUNTAINS @ EXTERIOR

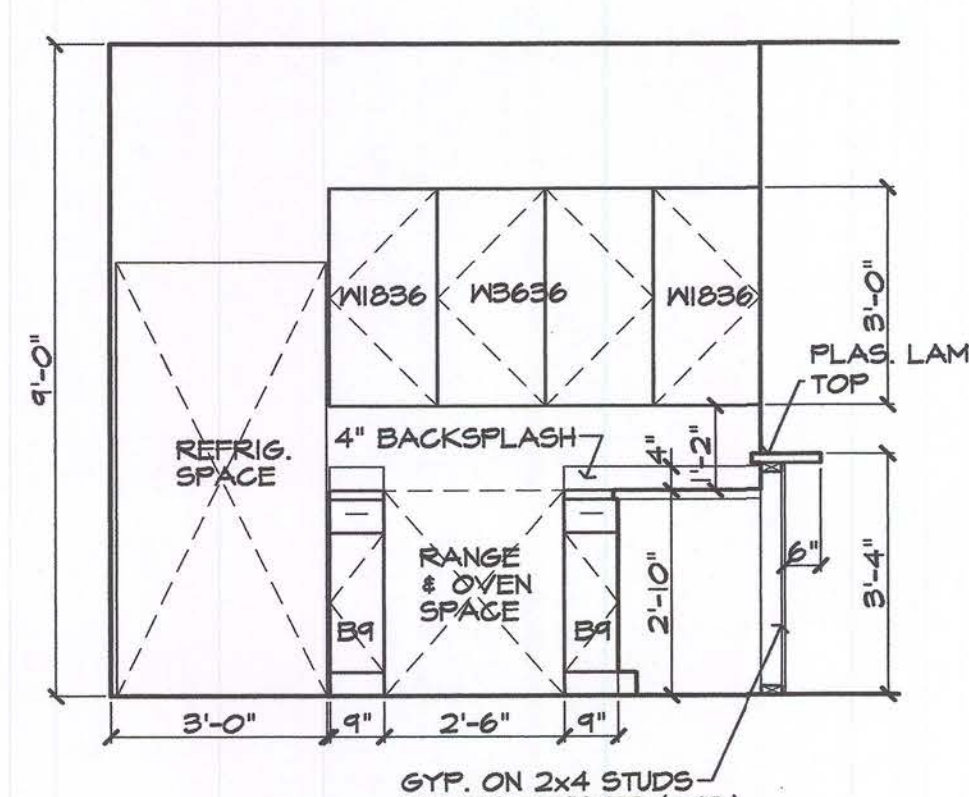


WATER COOLER ELEVATION
SCALE: 3/8"-1'-0"

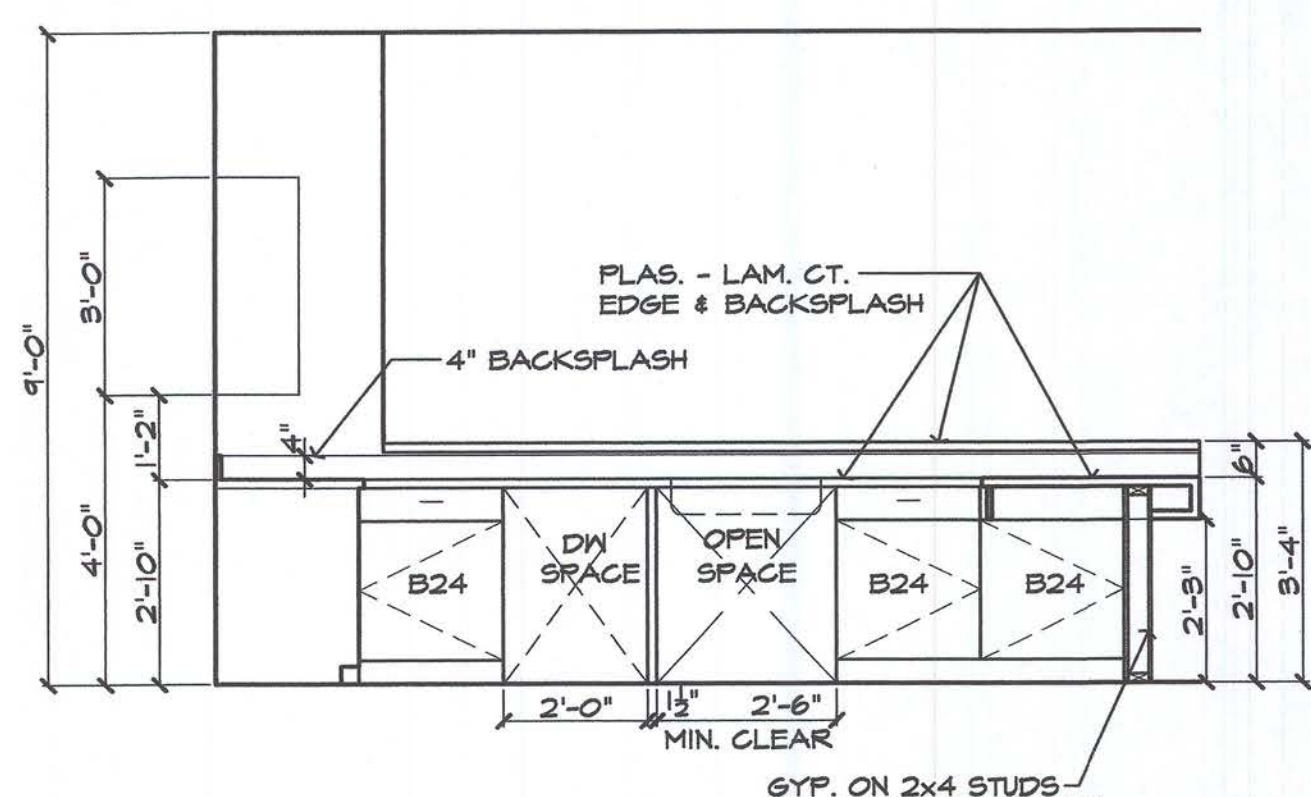
NOTE:
E.W.C.'s @ INTERIOR DRINKING FOUNTAINS @ EXTERIOR



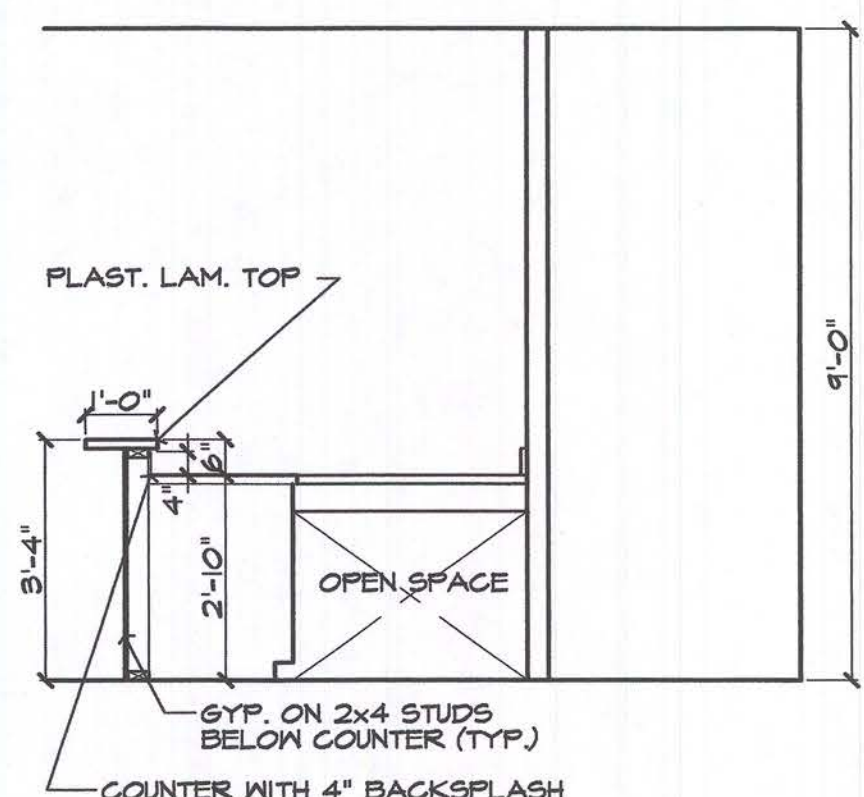
WATER COOLER ELEVATION
SCALE: 3/8"-1'-0"



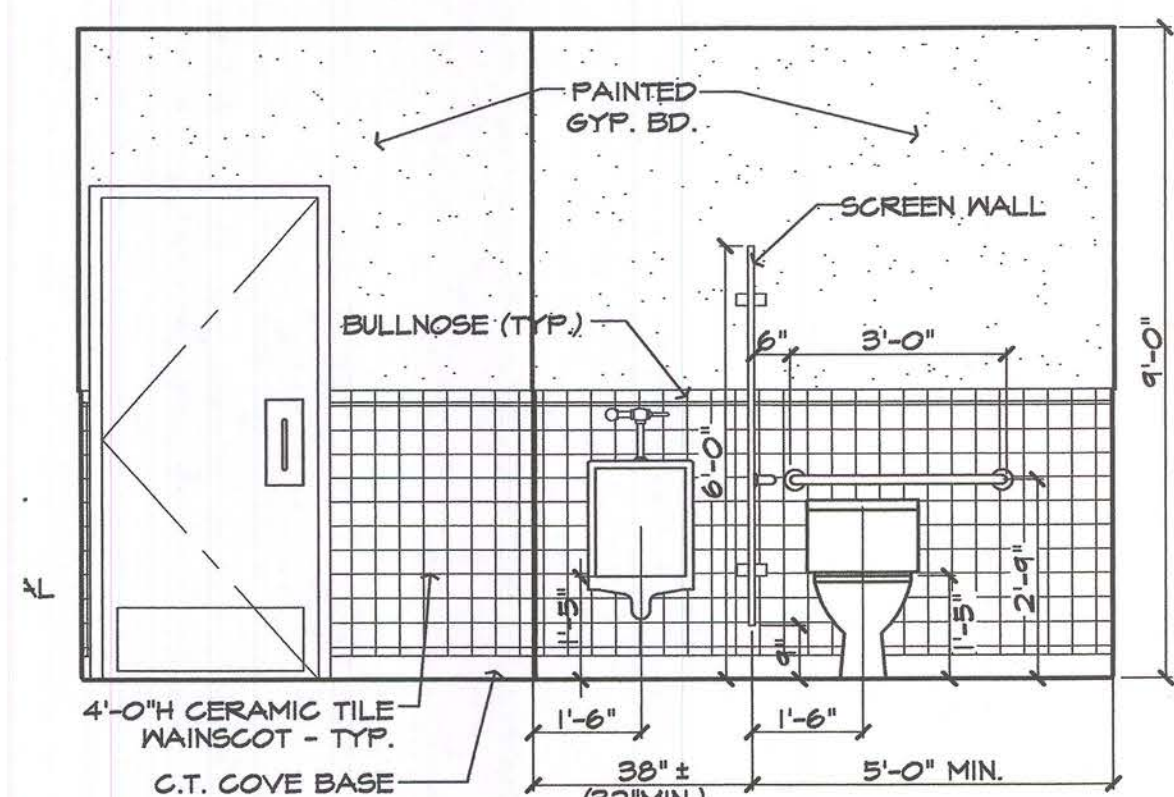
KITCHEN ELEVATION
SCALE: 3/8"-1'-0"



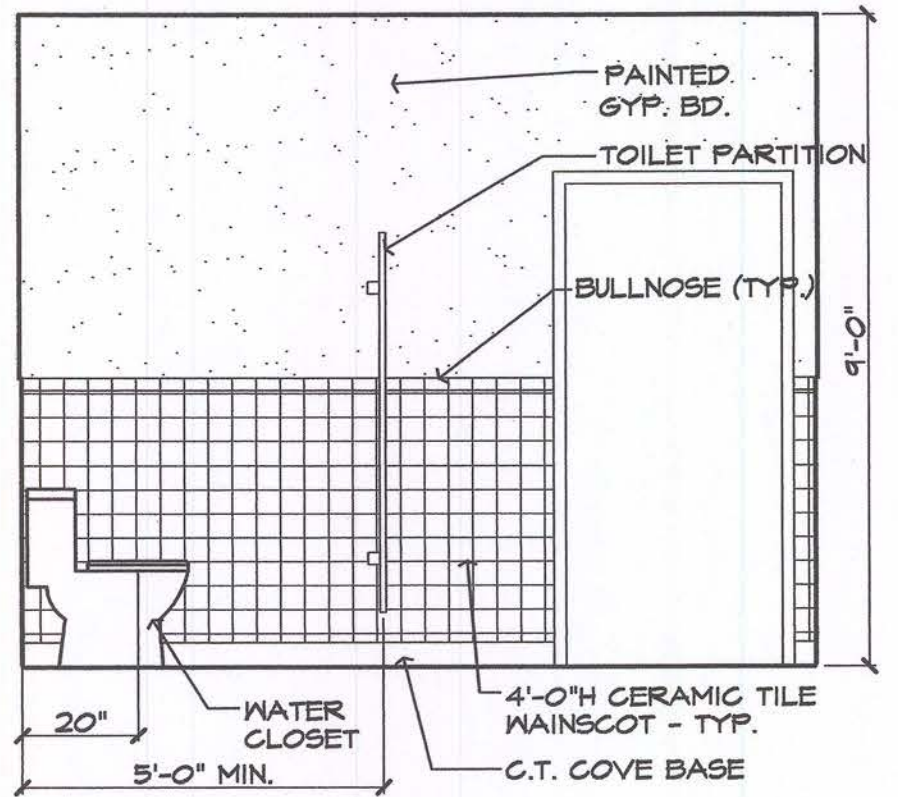
KITCHEN ELEVATION
SCALE: 3/8"-1'-0"



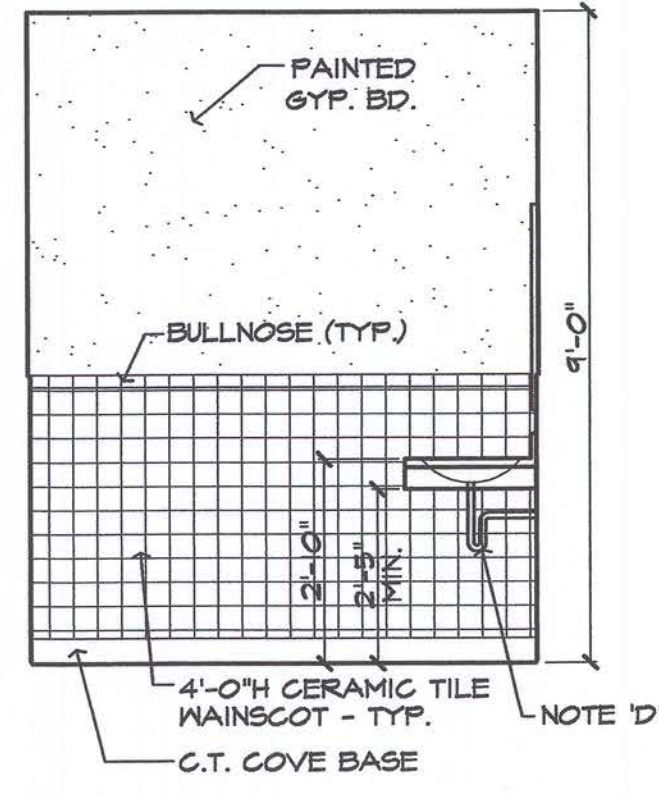
KITCHEN ELEVATION
SCALE: 3/8"-1'-0"



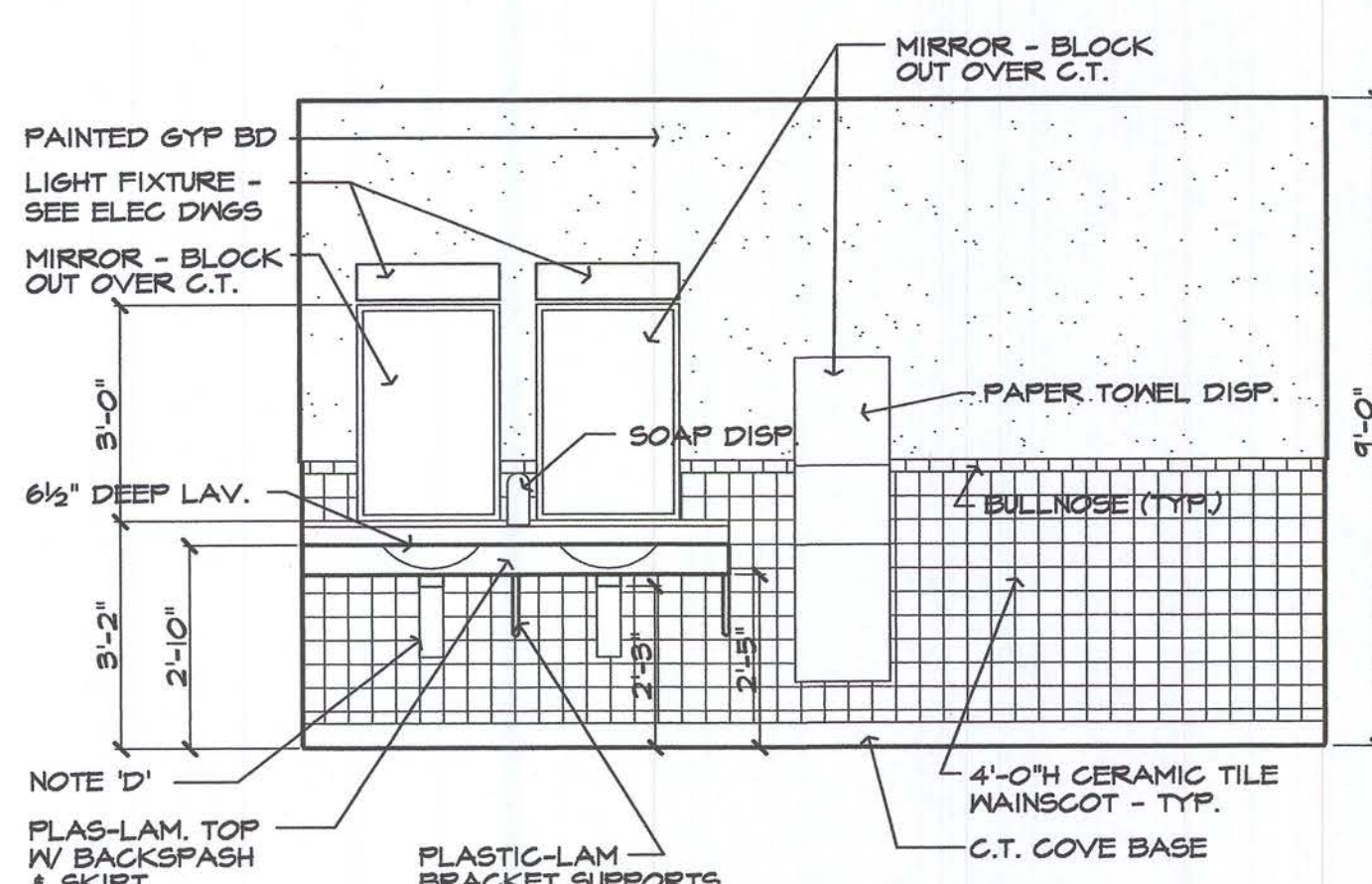
RESTROOM ELEVATION
SCALE: 3/8"-1'-0"



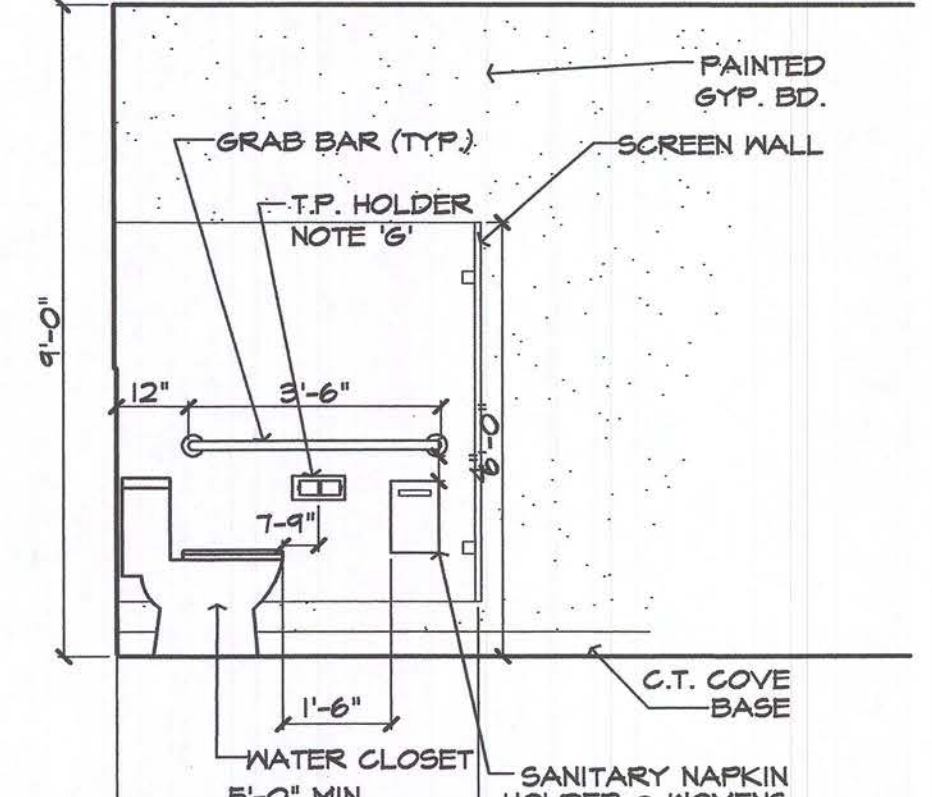
RESTROOM ELEVATION
SCALE: 3/8"-1'-0"



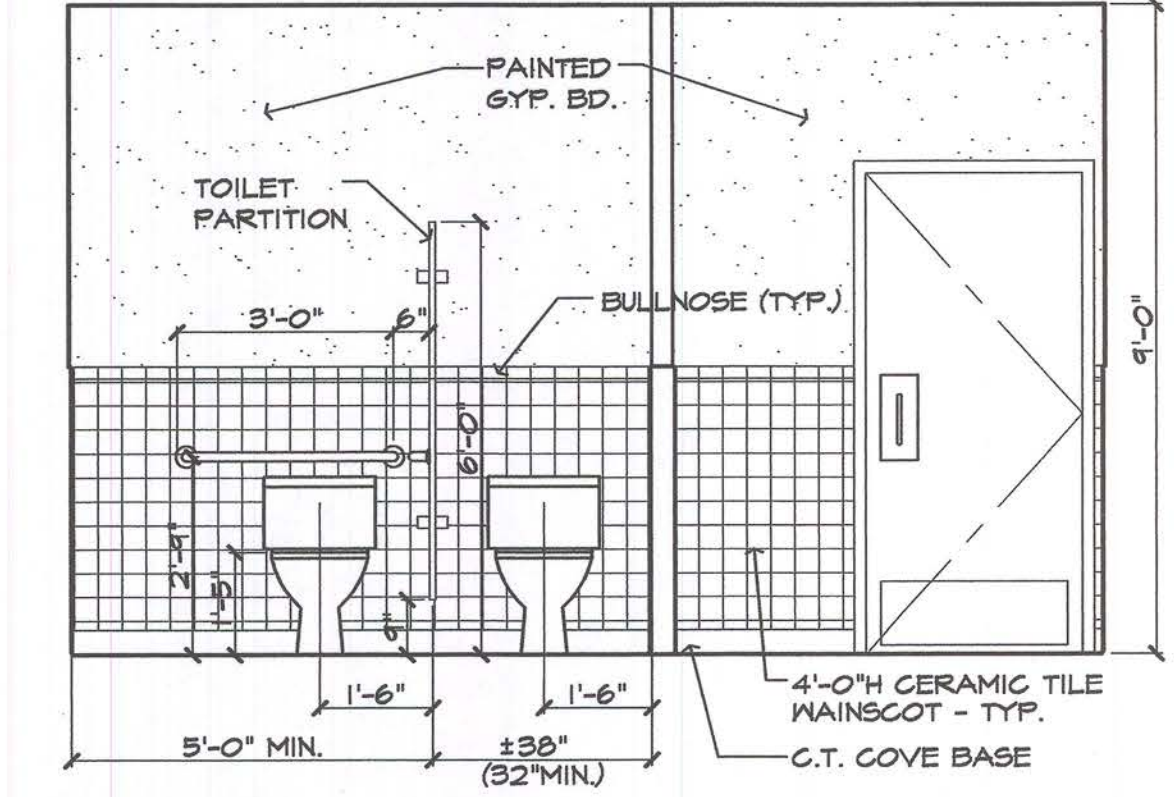
RESTROOM ELEVATION
SCALE: 3/8"-1'-0"



RESTROOM ELEVATION
SCALE: 3/8"-1'-0"

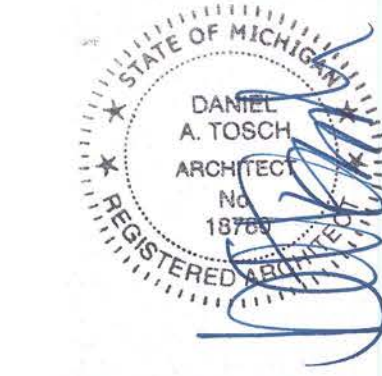


RESTROOM ELEVATION
SCALE: 3/8"-1'-0"



RESTROOM ELEVATION
SCALE: 3/8"-1'-0"

838 W. Long Lake #250
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10-15-03
PERMIT/BIDS
2-9-04

Developer:
FIELEK LAND
DEVELOPMENT, L.L.C.
South Lyon, Michigan

Project:

CLUBHOUSE
@ WORTHINGTON
APARTMENTS

Leslie, Michigan

Sheet Title:

INTERIOR
ELEVATIONS

Project Number: 03-161
Drawn: RGG
Checked: PA
Date: 9.19.03
Sheet Number:

CH6.0

[illegible]

ROOM FINISH SCHEDULE																					
ROOM		FLOOR					BASE	WALLS				CEILING				REMARKS					
		CARPET	CERAMIC TILE (NON-SLIP)	RESILIENT SHEET VINYL	CONC SLAB (SEALED)	QUARRY TILE	WOOD	QUARRY TILE	VINYL	CERAMIC COVE	DRYWALL - PAINT	DRYWALL - ENAMEL PAINT	G.T. MAINSCOT	NOT USED	NOT USED	DRYWALL - PAINT	NOT USED	NOT USED	NOT USED	NOT USED	
No.		1	2	3	4	5	1	2	3	4	1	2	3	4	5	1	2	3	4	5	5
101	VESTIBULE					5		2			1					1					
102	GATHERING ROOM	1					1				1					1					
103	BUSINESS CENTER	1					1				1					1					
104	COAT	1					1				1					1					
105	KITCHEN			3					3		1					1					
106	HALLWAY	1					1				1					1					
107	MEN'S TOILET ROOM		2							4	1		3			1					
108	WOMEN'S TOILET ROOM		2							4	1		3			1					
109	MAINTENANCE				4						1					1					
110	POOL EQUIPMENT ROOM				4						1					1					
111	MECHANICAL ROOM				4						1					1					
112	EXERCISE ROOM	1					1				1					1					
113	LEASING	1					1				1					1					
114	OFFICE	1					1				1					1					
115	FILE ROOM	1					1				1					1					

1. ALL DOORS AND FRAMES REQUIRING A FIRE RATING SHALL BEAR THE APPROPRIATE PERMANENTLY AFFIXED LABEL OF AN APPROVED AGENCY AND SHALL CONFORM TO TEST REQUIREMENTS OF ASTM E182 (20 MIN LABELED DOORS SHALL BE TESTED WITHOUT THE HOSE STREAM TEST).
2. ALL MEANS OF EGRESS DOORS SHALL BE READILY OPERABLE FROM THE SIDE FROM WHICH EGRESS IS MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
3. PROVIDE TRANSITION STRIPS AT ALL DOORS WHERE DISSIMILAR FLOOR MATERIALS MEET AND A THRESHOLD IS NOT SCHEDULED.
4. TRANSITION STRIPS AND THRESHOLDS SHALL HAVE BEVELED EDGES WITH A SLOPE NOT GREATER THAN 1:2. 4 SHALL BE 1/2" HIGH MAX.

5. ALL FLOOR FINISHES SHALL PASS DOC FF-I TEST, OR IF OTHER THAN CARPET, SHALL BE AT LEAST AS RESISTANT TO FLAME PROPAGATION AS A MATERIAL MATERIAL WHICH DOES PASS DOC FF-I.
6. WALL & CEILING FINISHES IN ROOMS OR ENCLOSED SPACES SHALL BE MIN. CLASS III. WALL & CEILING FINISHES IN CORRIDORS PROVIDING EXIT ACCESS SHALL BE MIN. CLASS III.
7. FLOOR TILE SHALL BE INSTALLED AS RECOMMENDED BY THE TILE COUNCIL OF AMERICA (TCA) FOR "LIGHT" SERVICE REQUIREMENTS (PASSES ASTM C627 CYCLES 1 THRU 6) FLOOR TILE SHALL BE 8"x8" STANDARD GRADE, UN-GLAZED, IMPERVUS TYPE, IN PATTERN SELECTED FROM MANUFACTURERS STANDARD PATTERNS. TILE SHALL HAVE A MINIMUM COEFFICIENT OF FRICTION (SLIP RESISTANCE) OF 0.6. TILE SHALL BE AS MANUFACTURED BY FLORIDA TILE INDUSTRIES OR APPROVED EQUAL.
8. VINYL COMPOSITION TILE SHALL BE 12"x12" SQUARE IN 1/8" MINIMUM THICKNESS. TILE SHALL BE SELECTED FROM MANUFACTURERS STANDARD PATTERNS AND COLORS. TILE SHALL BE PREMIUM EXCELOX AS MANUFACTURED BY ARMSTRONGS WORLD INDUSTRIES OR APPROVED EQUAL.
9. INTERIOR PAINT SCHEDULE:
 - A. GYPSUM DRYWALL
 1. FIRST COAT: INTERIOR LATEX BASE PRIMER - SEALER
 2. SECOND COAT: ODORLESS INTERIOR SEMI-GLOSS ALKYD ENAMEL
10. TOILET PARTITIONS SHALL BE ACADEMY TOILET PARTITIONS AS MANUF. BY SANYMETAL PRODUCTS CO. OR APPROVED EQUAL.
11. TOILET ACCESSORIES SHALL BE AS MANUFACTURED BY BOBRICK, TAYMOR OR APPROVED EQUAL.



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STATE OF MICHIGAN
DANIEL A. TOSCHI
ARCHITECT
No. 187800
REGISTERED ARCHITECT

Issued For:
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PERMIT/BIDS
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Developer:

FIELEK LAND
DEVELOPMENT, L.L.C.
South Lyon, Michigan

Project:

CLUBHOUSE
@ WORTHINGTON
APARTMENTS

Leslie, Michigan

Sheet Title:

SCHEDULES

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