

GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF LANSING.
2. THE CONTRACTOR SHALL NOTIFY "MISS DIG" AT LEAST THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY THE CITY OF LANSING'S OFFICE OF ENGINEERING 48 HOURS PRIOR TO THE START OF CONSTRUCTION OF PUBLIC UTILITIES OR CONSTRUCTION IN THE STREET RIGHT-OF-WAY.
4. HANDICAPPED PARKING SPACES SHALL BE IDENTIFIED WITH THE INTERNATIONAL SYMBOL.
5. ACCESS TO A STRUCTURE SHALL BE PROVIDED FOR THE PHYSICALLY HANDICAPPED.
6. ONSITE PARKING SHALL BE PROVIDED FOR CONSTRUCTION WORKERS.
7. AN AS-BUILT PLANS SHALL BE SUBMITTED TO THE CITY OF LANSING PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT OR RELEASE OF SURETY'S BOND.
8. ALL POTENTIAL UTILITY CONFLICTS MUST BE PHYSICALLY DETERMINED PRIOR TO THE START OF CONSTRUCTION OF UTILITIES. A CITY OF LANSING INSPECTOR MUST BE PRESENT.
9. FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER THE CITY OF LANSING STANDARDS.
10. FOUR-FOOT WIDE SIDEWALKS SHALL BE PROVIDED 2.5 FEET OFF OF THE PROPERTY LINE WITHIN THE RIGHTS-OF-WAY, UNLESS A SIDEWALK EASEMENT IS PROVIDED FOR A MEANDERING SIDEWALK OR AN ALTERNATIVE DESIGN IS APPROVED BY THE CITY. BARRIER-FREE RAMPS, PER THE CITY OF LANSING STANDARDS, SHALL BE PROVIDED ON SIDEWALKS AT ALL CURB CROSSINGS.
11. MECHANICAL UNITS, DUMPSTERS, AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
12. ALL SIGNAGE CONTINGENT UPON APPROVAL BY THE CITY OF LANSING.
13. ALL ELECTRICAL TRANSMISSION, DISTRIBUTION, AND SERVICE LINES SHALL BE UNDERGROUND.
14. USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE CITY OF LANSING STANDARDS FOR NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARD MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.

PROJECT SCOPE

PROJECT STATEMENT:
 THE PROPERTY IS LOCATED AT 400 BLOCK OF PENNSYLVANIA AVENUE, IN LANSING MICHIGAN 48906. THE 0.218-ACRE SITE IS ZONED R-MX MIXED RESIDENTIAL. THE PROPOSED QUADPLEX MULTIPLE FAMILY (TOWNHOUSE) CONDOMINIUM IS A PRINCIPAL PERMITTED USE. THE PROPOSED MULTIPLE FAMILY CONDOMINIUMS MUST COMPLY WITH THE REGULATIONS SPECIFIED IN CHAPTER 1244.12, R-MX MIXED RESIDENTIAL, AND BUT NOT LIMITED TO , THE FOLLOWING REGULATIONS:

- CHAPTER 1250 - GENERAL PROVISIONS
- CHAPTER 1252 - LANDSCAPING
- CHAPTER 1254 - PARKING

THIS IS NOT A BROWNFIELD SITE AND STORM WATER WILL BE DISCHARGED ONSITE. THIS SITE IS SUBJECT TO THE CONDITIONS AND DEVELOPMENT LIMITATIONS OF LIGHT INDUSTRIAL SPECIFICATIONS.

PROJECT TEAM

OWNER:
 INGHAM COUNTY LAND BANK
 3024 TURNER RD
 LANSING, MICHIGAN

ENGINEER:
 C&A ENGINEERING, LLC
 10722 CORKERY LN GRAND LEDGE, MI 48837
 CAENGINEERLLC@CAENGINEERSLLC.COM
 517-898-8152

COVER SHEET

INGHAM COUNTY LAND BANK
HICKORY POINTE CONDOMINIUM'S
 400 BLOCK S. PENNSYLVANIA
 LANSING, MI 48912

PROJECT SHEET INDEX

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ADDITIONAL DOCUMENTS & REQUIREMENT

GEOTECHNICAL INVESTIGATION / SOIL REPORT

REPORT ENTITLED GEOTECHNICAL REPORT FOR INGHAM COUNTY LAND BANK, PREPARED BY PROFESSIONAL SERVICES INDUSTRY (PSI), PROJECT GEOTECHNICAL ENGINEER, IS PART OF THE CONSTRUCTION DOCUMENTS. ALL WORK MUST COMPLY WITH SOIL REPORT REQUIREMENTS & RECOMMENDATIONS, THE MICHIGAN BUILDING CODE, AND ALL OTHER APPLICABLE CODES & ENFORCED BY LOCAL JURISDICTION.

MICHIGAN ENERGY CODE COMPLIANCE

MICHIGAN ENERGY CODE COMPLIANCE SERVICE PROVIDED BY CUSTOM HOME ENERGY SERVICES- PO BOX 237, BATH, MI 48808, DATED TBD, IS PART OF THE CONSTRUCTION DOCUMENTS. ALL WORK MUST COMPLY WITH ENERGY REPORT REQUIREMENTS & RECOMMENDATIONS, MICHIGAN ENERGY CODE, & ALL OTHER APPLICABLE CODES & ORDINANCES AS ADOPTED, AMENDED, & ENFORCED BY LOCAL JURISDICTION.

COORDINATE WITH STRUCTURAL ENGINEER

COORDINATE WITH ENGINEER TO PROVIDE REQUIRED NOTICE & TO SCHEDULE MANDATORY CONSTRUCTION OBSERVATION. PROVIDE ENGINEER WITH MINIMUM 48 HOURS ADVANCE NOTICE AND THE OPPORTUNITY TO BE PRESENT FOR ANY & ALL SITE VISITS & CONSTRUCTION OBSERVATION ATTENDED BY THE ENGINEER. SUBMIT ALL REQUESTS FOR INFORMATION TO ENGINEER, COPY ALL CORRESPONDENCE WITH PROJECT MANGER AND ALL OTHER PROFESSIONAL CONSULTANTS.

CONSTRUCTION OBSERVATION REQUIRED

GENERAL CONTRACTOR IS REQUIRED TO SCHEDULE & COORDINATE THE FOLLOWING MANDATORY CONSTRUCTION OBSERVATION SITE VISITS WITH ENGINEER PRESENT. PROVIDE NOTICE TO ENGINEER AT LEAST 48 HOURS PRIOR TO SUCH VISITS. PRIOR TO BEGINNING WORK, PROVIDE ENGINEER & OWNER WITH A CRITICAL PATH SCHEDULE SHOWING THE FOLLOWING CONSTRUCTION MILESTONES:

1. SITE VISIT MILESTONE
2. GRADING
3. STORM WATER/WASTE WATER PRE CONSTRUCTION SITE MEETING
4. COMPLETION OF STORM WATER (RAIN GARDEN) CONSTRUCTION
5. UTILITY PRE CONSTRUCTION SITE MEETING
6. COMPLETION OF STORM WATER CONSTRUCTION
7. SOIL EROSION INSPECTION SITE MEETINGS AS NEEDED

AGENCY REFERRALS

ZONING
 PLANNING & ZONING
 316 N CAPITAL AVE, SUITE D
 LANSING, MI 48933
 PH: (517) 483-4066

FIRE
 LANSING FIRE DEPT.
 316 N CAPITAL AVE, SUITE C
 LANSING, MI 48933
 PH: (517) 483-4105

ROADWAY
 CITY OF LANSING
 2700 PORT LANSING RD,
 LANSING, MI 48906
 PH: (517) 335-3754

EROSION CONTROL
 PUBLIC SERVICE
 124 W. MICHIGAN AVENUE
 7TH FLOOR CITY HALL
 LANSING, MI 48933
 PH: (517) 483-4455

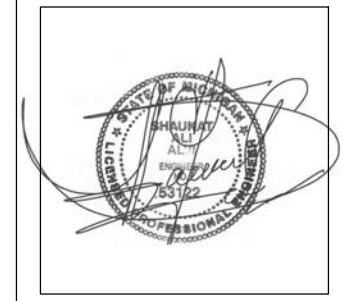
ELECTRIC
 LANSING BWL
 1232 HACO DR,
 LANSING, MI 48912
 PH: (517) 702-6006

GAS
 CONSUMERS ENERGY
 1 ENERGY PLAZA DR,
 JACKSON, MI 49201
 PH: 800-805-0490

PARCEL MAP



VICINITY MAP



REVISION TABLE	REVISOR	DATE

C & A ENGINEERS, LLC
 10722 CORKERY LN
 GRAND LEDGE, MI 48837
 P: 517.898.8152 E: www.caengineers.com

INGHAM COUNTY LAND BANK
 HICKORY POINTE CONDOMINIUM'S
 400 BLOCK S. PENNSYLVANIA
 LANSING, MI 48912

COVER SHEET

OWNER:
 INGHAM COUNTY LAND BANK
 3024 TURNER RD LANSING, MICHIGAN

DATE:

02/13/2025

SCALE:

SHEET NO:

CS.1

SITE DATA

PROJECT ADDRESS: 400 BLOCK OF PENNSYLVANIA AVE LANSING MI 48906
 OWNER: INGHAM COUNTY LAND BANK
 3024 TURNER RD LANSING, MICHIGAN

PARCEL#: 33-01-01-15-376-021, 33-01-01-15-376-011, 33-01-01-15-376-031

LEGAL DESCRIPTION: LOTS 20 & 21 BLOCK 2 LANSING IMPROVEMENT COMPANYS ADD SPLIT/
 COMBINED ON 11/14/2022 FROM 33-01-01-15-376-021, 33-01-01-15-376-011, 33-01-01-15-376-031

ZONING: R-MX
 PROPOSED ZONING: R-MX
 LOT AREA: 0.218 ACRES±
 UNITS: 4
 BLDG. AREA: 4,679 SQ.FT.
 STORIES: 2
 CONSTRUCTION TYPE: VB
 FIRE SPRINKLERS: NO
 BUILDING HEIGHT: 26'-4" FT
 PARKING: PARKING PROVIDED: 8 SPACES
 DIMENSIONS: 10' W X 26' L
 *MINIMUM DRIVE AISLE: 24'

PROJECT NARRATIVE

THE PROPERTY IS LOCATED AT 400 BLOCK OF PENNSYLVANIA AVENUE. IN LANSING MICHIGAN 48906. THE 0.218-ACRE SITE IS ZONED R-MX MIXED RESIDENTIAL. THE PROPOSED QUADPLEX MULTIPLE FAMILY (TOWNHOUSE) CONDOMINIUM IS A PRINCIPAL PERMITTED USE. THE PROPOSED MULTIPLE FAMILY CONDOMINIUMS MUST COMPLY WITH THE REGULATIONS SPECIFIED IN CHAPTER 1244.12, R-MX MIXED RESIDENTIAL, AND BUT NOT LIMITED TO, THE FOLLOWING REGULATIONS:
 • CHAPTER 1250 - GENERAL PROVISIONS
 • CHAPTER 1252 - LANDSCAPING
 • CHAPTER 1254 - PARKING

SITE REQUIREMENTS

ACCORDING TO CURRENT CITY ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED "R-MX"

(a) BUILDING MASSING		
A. Minimum Height	20'	2 Stories
B. Maximum Height	45'	4 Stories

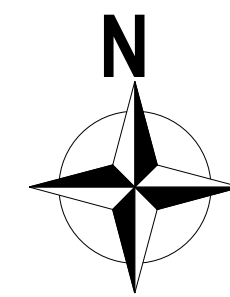
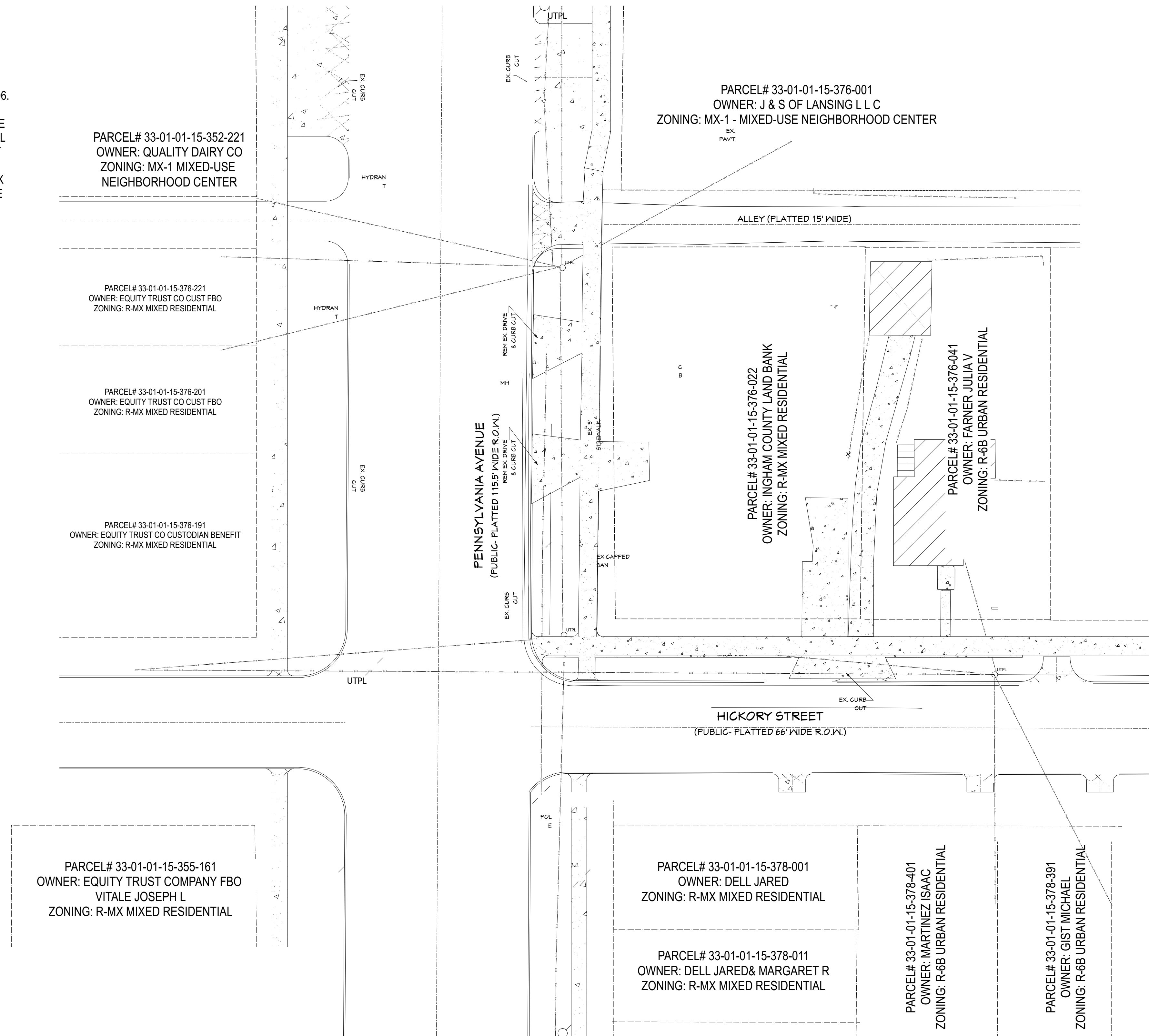
(b) BUILDING PLACEMENT		
C. Front Setback	20'	
D. Minimum Side Setback	5', total of two side yards 15'	
E. Minimum Rear Setback	30'	
Minimum Lot Size (per dwelling unit)	Efficiency: 1200 sq. ft., 1-bdrm: 1300 sq. ft., 2 bdrm: 1500 sq. ft., 3+ bdrms: 2200 sq. ft.	
F. Lot Width - min., max.	40' - 60'	
G. Lot Depth - min., max.	150' - 200'	
Maximum Lot Coverage	Total Impervious Surfaces	65%
	Building Coverage	45%

(c) PARKING	
Parking	See Chapter 1254 for parking standards. Parking permitted in rear or side yard. Property and Parking Lot Setback / Screening per Chapter 1252
H. Garages	Rear yard or along alley

LEGEND

- POLE UTILITY - EXISTING
- POLE UTILITY
- TRANSFORMER - PAD MOUNTED
- TRANSFORMER - POLE MOUNTED
- CABLE
- CABLE - TO BE REMOVED
- CABLE OVERHEAD - TO BE REMOVED
- CABLE IN CONDUIT - TO BE REMOVED
- CABLE IN CONDUIT - DIRECTIONAL BORE
- COMMUNICATION
- FIBER OPTIC
- FIBER OPTIC - OUT OF SERVICE
- FIBER OPTIC - OVERHEAD
- FIBER OPTIC MARKER
- CABLE - OUT OF SERVICE
- CABLE - OVERHEAD
- CABLE MARKER
- CABLE PEDESTAL
- TELEPHONE
- TELEPHONE - OUT OF SERVICE
- TELEPHONE - OVERHEAD
- TELEPHONE BOX
- TELEPHONE HANDBOLE
- TELEPHONE METER
- NATURAL GAS
- GAS LINE
- GAS LINE - OUT OF SERVICE
- MARKER
- VALVE
- WELL
- SANITARY SEWER
- MANHOLE WITH COVER (SIA VARIES)
- SEWER
- SEWER - OUT OF SERVICE
- SEWER - TO BE TAKEN OUT OF SERVICE
- SEWER - TO BE REMOVED
- METER
- FIRE HYDRANT
- GATE VALVE AND BOX
- GATE VALVE IN WELL
- IRRIGATION CONTROL VALVE
- IRRIGATION SPRINKLER HEAD
- SERVICE METER
- SERVICE SHUTOFF
- WATER WELL
- IRRIGATION
- WATER MAIN
- WATER MAIN - OUT OF SERVICE
- WATER MAIN - TO BE TAKEN OUT OF SERVICE
- WATER MAIN - TO BE REMOVED
- CATCH BASIN COVER
- SEWER CLEANOUT ACCESS
- STRUCTURE BOTTOM (SIA VARIES)
- UTILITY BOX
- UTILITY
- GUY ANCHOR
- ROW - FREE ACCESS
- PARCEL LINE
- EASEMENT LINE
- SIGN POST - DOUBLE
- SIGN POST - SINGLE
- SIDEWALK
- CONCRETE
- ASPHALT

EXISTING SITE LAYOUT



REVISION TABLE	
REVISED BY	DATE

C & A ENGINEERS, LLC
 10722 CORKERY LN
 GRAND LEDGE, MI 48837
 P: 517.898.8102 E: www.camengineers.com

INGHAM COUNTY LAND BANK
 HICKORY POINTE CONDOMINIUM'S
 400 BLOCK S. PENNSYLVANIA
 LANSING, MI 48912

EXISTING SITE LAYOUT

OWNER: INGHAM COUNTY LAND BANK
 3024 TURNER RD LANSING, MICHIGAN

DATE:

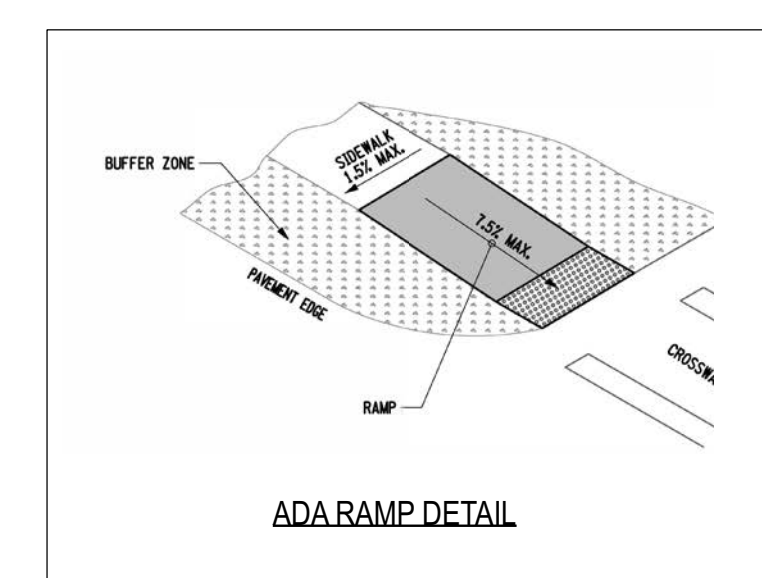
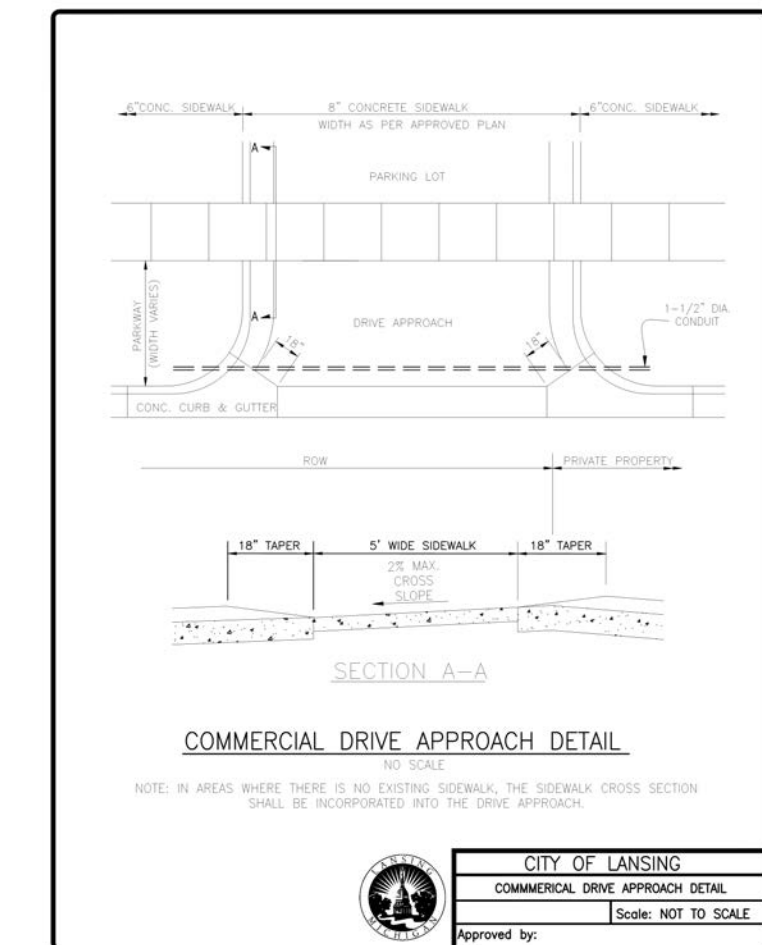
02/13/2025

SCALE:

1" = 20'

SHEET NO:

CS.2

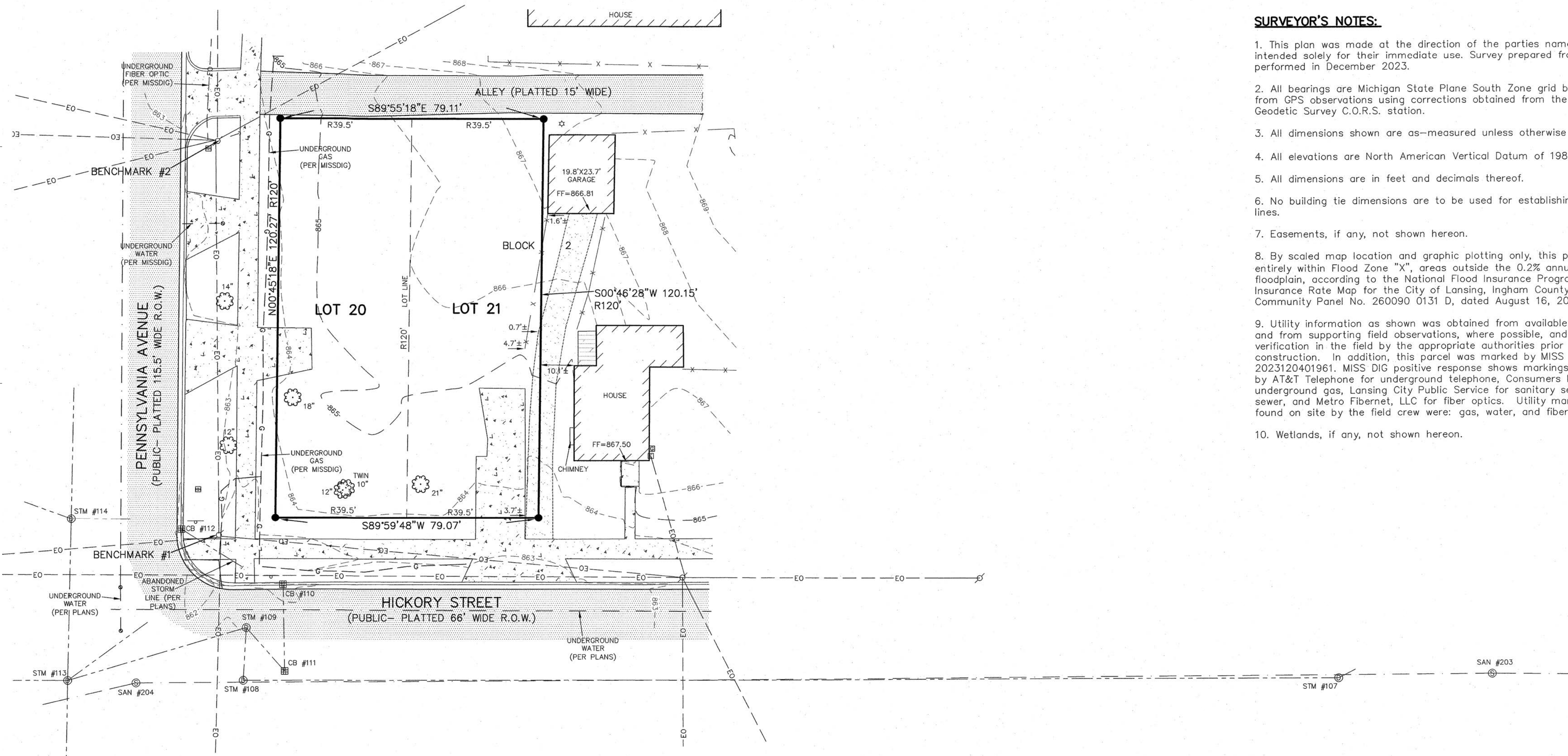
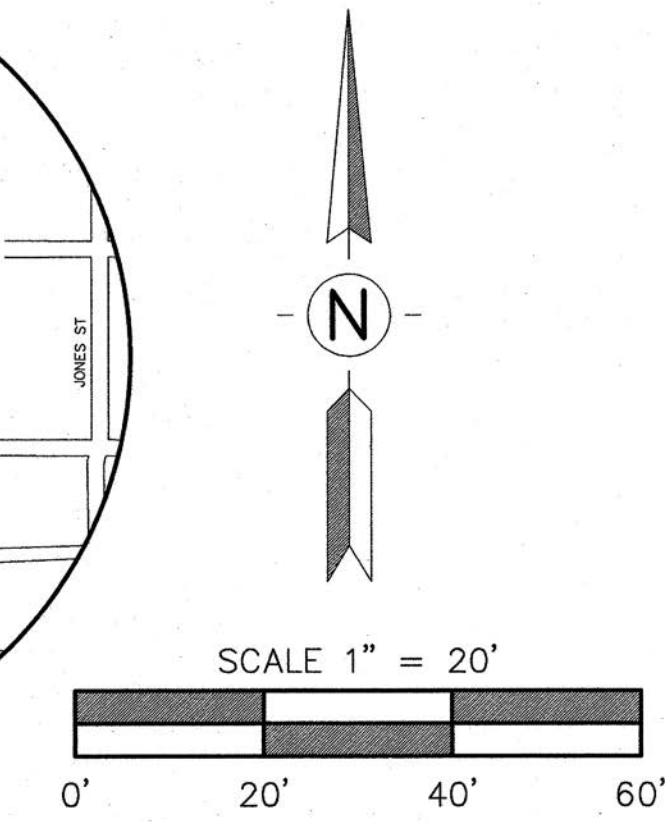
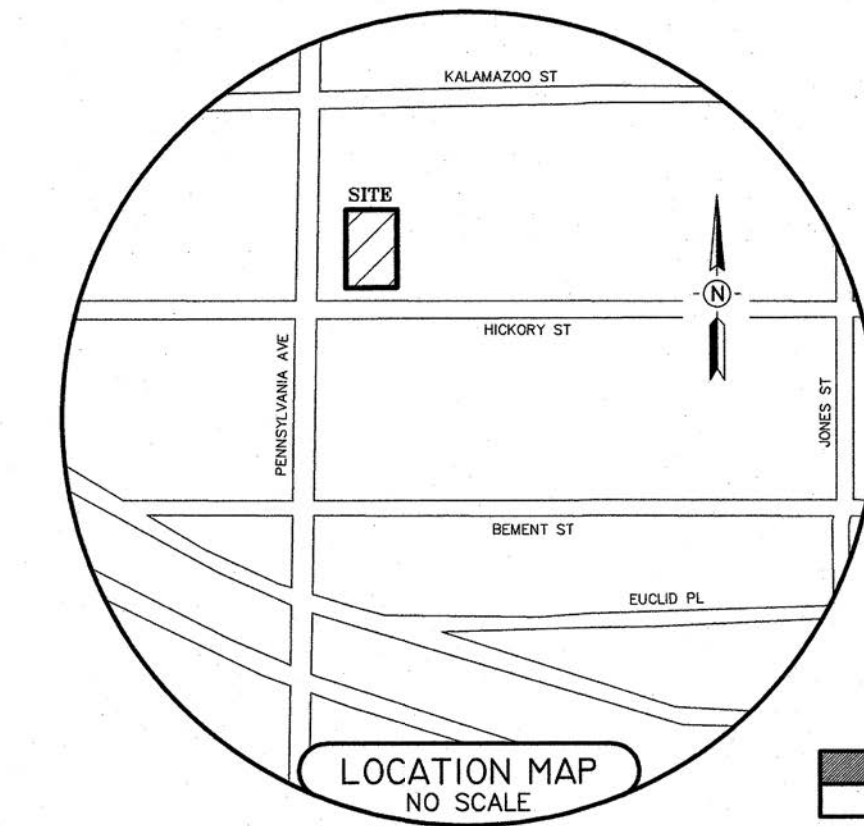


LOT & TOPOGRAPHIC SURVEY

"VACANT- S. PENNSYLVANIA AVE, LANSING, MI 48912"

FOR: INGHAM COUNTY LAND BANK

LEGAL DESCRIPTION:
 (As provided)
 TAX ID: 33-01-01-15-376-022
 Lots 20 and 21, Block 2, Lansing Improvement Company's Addition, City of Lansing, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 2 of Plats, Page 14, Ingham County Records.



- SURVEYOR'S NOTES:**
- This plan was made at the direction of the parties named herein and is intended solely for their immediate use. Survey prepared from fieldwork performed in December 2023.
 - All bearings are Michigan State Plane South Zone grid bearings obtained from GPS observations using corrections obtained from the nearest National Geodetic Survey C.O.R.S. station.
 - All dimensions shown are as-measured unless otherwise noted.
 - All elevations are North American Vertical Datum of 1988 (NAVD88).
 - All dimensions are in feet and decimals thereof.
 - No building tie dimensions are to be used for establishing the property lines.
 - Easements, if any, not shown hereon.
 - By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", areas outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map for the City of Lansing, Ingham County, Michigan, Community Panel No. 260090 0131 D, dated August 16, 2011.
 - Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. In addition, this parcel was marked by MISS DIG Ticket No. 2023120401961. MISS DIG positive response shows markings were completed by AT&T Telephone for underground telephone, Consumers Energy Gas for underground gas, Lansing City Public Service for sanitary sewer and storm sewer, and Metro FiberNet, LLC for fiber optics. Utility markings actually found on site by the field crew were: gas, water, and fiber optic lines.
 - Wetlands, if any, not shown hereon.

SEWER INVENTORIES

- STORM MANHOLE #107
RIM - 868.38
12" RCP NE - 865.10
12" RCP W - 862.34
- STORM MANHOLE #108
RIM - 861.87
12" RCP N - 855.77
12" RCP E - 856.03
- STORM MANHOLE #109
RIM - 861.90
12" RCP S - 854.86
12" RCP SW - 854.58
12" RCP SE - 857.82
- CATCH BASIN #110
RIM - 861.67
12" RCP S - 859.12
- CATCH BASIN #111
RIM - 861.40
12" RCP N - 858.22
12" RCP NW - 858.16
- CATCH BASIN #112 (ABANDONED PER PLANS)
RIM - 861.80
12" RCP SE - 858.24
- STORM MANHOLE #113
RIM - 861.76
12" RCP NE - 855.00
30" RCP S - 851.50
12" RCP E - 853.92
30" RCP N - 851.66
12" RCP W - 854.24
- STORM MANHOLE #114
RIM - 861.86
30" RCP S - 852.12
30" RCP N - 852.16
12" RCP NW - 854.68
12" RCP E - 854.57
- SANITARY MANHOLE #203
RIM - 869.52
8" PVC E - 861.56
8" PVC W - 861.53
- SANITARY MANHOLE #204
RIM - 861.76
8" PVC E - 850.04
8" PVC SW - 849.77

LEGEND

(M) = MEASURED DIMENSION	⊙ = SANITARY MANHOLE
(R) = RECORDED DIMENSION	⊕ = DRAINAGE MANHOLE
• = SET 1/2" BAR WITH CAP UNLESS NOTED	⊞ = GAS METER
□ = FOUND IRON AS NOTED	⊠ = CATCH BASIN
— = DEED LINE	⊙ = VALVE
— = DISTANCE NOT TO SCALE	— = SIGN
— = FENCE	• = POST
— = ASPHALT	☆ = UTILITY POLE
— = CONCRETE	☆ = LIGHT POLE
— = DECK	— = GUY WIRE
— = GRAVEL	⊞ = HANDHOLE
— = EXISTING CONTOUR ELEVATION	⊞ = ELECTRIC METER
— = SANITARY SEWER	
— = STORM SEWER	
— = WATER LINE	
— = GAS LINE	
— = OVERHEAD WIRES	
— = UNDERGROUND FIBER OPTIC	
⊙ = DECIDUOUS TREE	

BENCHMARKS

BENCHMARK #1 ELEV. = 863.57 (NAVD88)
 SET PK NAIL IN WEST SIDE OF POWER POLE, NORTHEAST QUADRANT OF PENNSYLVANIA AND HICKORY, ±10' EAST OF EAST BACK OF CURB OF PENNSYLVANIA

BENCHMARK #2 ELEV. = 865.11 (NAVD88)
 SET PK NAIL IN NORTH SIDE OF POWER POLE, SOUTHEAST QUADRANT OF ALLEY AND PENNSYLVANIA, ±9' EAST OF EAST BACK OF CURB OF PENNSYLVANIA

ERICK R. FRIESTROM
 PROFESSIONAL SURVEYOR
 LICENSE NO. 53497
 DATE 01-11-2024

REVISIONS	COMMENTS	KEBS, INC. ENGINEERING AND LAND SURVEYING	
01/11/2024	ORIGINAL	2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX 517-339-8047 WWW.KEBS.COM	
		Marshall Office - Ph. 269-781-9800	
DRAWN BY AN		SECTION 15, T4N, R2W	
FIELD WORK BY NW		JOB NUMBER:	
SHEET 1 OF 1		102095.LOT	

REVISION TABLE
 REVISED BY DATE

C & A ENGINEERS, LLC
 10722 CORKERY LN
 GRAND LEDGE, MI 48837
 P. 517.898.8152 E. www.candae.com

INGHAM COUNTY LAND BANK
 HICKORY POINTE CONDOMINIUMS
 400 BLOCK S. PENNSYLVANIA
 LANSING, MI 48912

OWNER:
 INGHAM COUNTY LAND BANK
 3024 TURNER RD LANSING, MICHIGAN

DATE: 02/13/2025

SCALE:

SHEET NO: 5.1

SITE DATA

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 OWNER: INGHAM COUNTY LAND BANK
 3024 TURNER RD LANSING, MICHIGAN

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 STORIES: 2
 CONSTRUCTION TYPE: VB
 FIRE SPRINKLERS: NO
 BUILDING HEIGHT: 26'-4" FT
 PARKING: PARKING PROVIDED: 8 SPACES
 DIMENSIONS: 10' W X 20' L
 *MINIMUM DRIVE AISLE: 24'

GREEN SPACE

TOTAL LOT AREA
 LAWN: 9,322 SQ.FT. +/-
 BLDG: 2,507.32 SQ.FT. +/-
 PAVT: 4,763.02 SQ.FT +/-

LOT COVERAGE CALCULATIONS

BUILDING = BLDG / LOT = 2,507 / 9,322 = 0.269 = 27%
 LOT = BLDG+PAV'T / LOT = 4,763 / 9,322 = .511 = 51%

FLOOD PLAIN NOTES:

PROPERTY SHOWN HEREON IS NOT LOCATED IN A FLOOD ZONE PER MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY (EGLE). THIS SURVEYOR/ENGINEER MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION.

SANITARY SEWER & WATER NOTE:

THE SITE CURRENTLY DOES NOT HAS EXISTING WATER SERVICE AND SANITARY SEWER, HOWEVER THE SITE HAS ACCESS TO BOTH WATER AND SEWER.

ENGINEERS NOTES:

THE CURRENT ZONING AS EVIDENCED BY THE CITY IS "R-MX" PER OBSERVATION, THIS SITE IS EITHER CURRENTLY HAS ACCESS TO THE FOLLOWING PUBLIC UTILITIES; SANITARY SEWER GAS, ELECTRIC, AND TELEPHONE. EITHER LOCATED ADJACENT TO THE SUBJECT SITE OR WITHIN PUBLIC RIGHT-OF-WAY.

CITY OF LANSING NOTES

ALL BROKEN AND DAMAGED SIDEWALK ALONG THE PROPERTY R.O.W. SHALL BE REMOVED AND REPLACED BY OWNER. ALL EXISTING SIDEWALK ON THE PROPOSED SITE DETERMINED TO NOT BE ADA COMPLIANT SHALL BE REMOVED AND REPLACED BY OWNER. SIDEWALK REPLACEMENT SHALL BE ACCORDING TO DETAILS SPECIFIED IN THE PLANS AND THE CITY OF LANSING STANDARDS

THE CONTRACTOR SHALL OBTAIN A CITY PERMIT FOR ALL ROAD CUTS WHICH WILL BE BACK FILLED PER CITY STANDARDS TO THE BASE COURSE COMPACTED FINISHED GRADE.

CONTRACTOR SHALL OBTAIN CITY PERMIT FOR ALL CONCRETE WORK INCLUDING CURB AND GUTTER, DRIVE APPROACHES AND SIDEWALKS.

THE CONTRACTOR MUST CONTACT THE CITY OF LANSING, TO SECURE THE REQUIRED PERMITS AND BONDS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST FOLLOW ALL REQUIREMENTS IN THE PERMIT, UTILIZING MAINTAINING TRAFFIC TYPICALS, REQUIRED AND THE PROPER CONSTRUCTION TRAFFIC SIGNING.

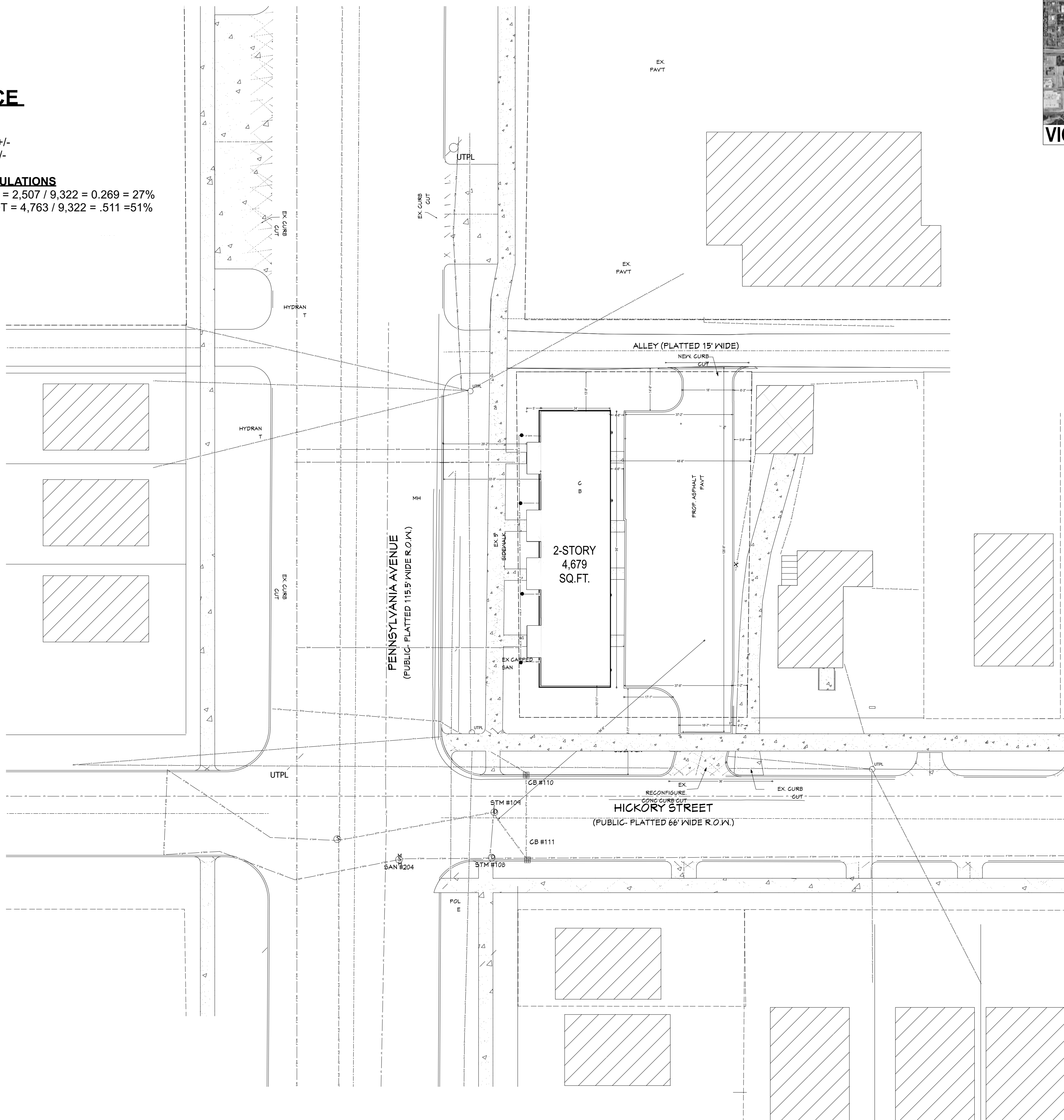
LEGEND

- POLE UTILITY - EXISTING
- POLE UTILITY
- TRANSFORMER - PAD MOUNTED
- TRANSFORMER - POLE MOUNTED
- CABLE
- CABLE - TO BE REMOVED
- CABLE OVERHEAD
- CABLE OVERHEAD - TO BE REMOVED
- CABLE IN CONDUIT
- CABLE IN CONDUIT - TO BE REMOVED
- CABLE IN CONDUIT - DIRECTIONAL BORE
- COMMUNICATION**
- FIBER OPTIC
- FIBER OPTIC - OUT OF SERVICE
- FIBER OPTIC - OVERHEAD
- FIBER OPTIC MARKER
- CABLE
- CABLE - OUT OF SERVICE
- CABLE - OVERHEAD
- CABLE MARKER
- CABLE PEDESTAL
- TELEPHONE
- TELEPHONE - OUT OF SERVICE
- TELEPHONE - OVERHEAD
- TELEPHONE BOX
- TELEPHONE HANNOLE
- TELEPHONE METER/BOX
- NATURAL GAS**
- GAS LINE
- GAS LINE - OUT OF SERVICE
- MARKER
- VALVE
- WELL
- SANITARY SEWER**
- MANHOLE WITH COVER (DIA VARIES)
- SEWER
- SEWER - OUT OF SERVICE
- SEWER - TO BE TAKEN OUT OF SERVICE
- SEWER - TO BE REMOVED
- METER
- FIRE HYDRANT
- GATE VALVE AND BOX
- GATE VALVE IN WELL
- IRRIGATION CONTROL VALVE
- IRRIGATION SPRINKLER HEAD
- SERVICE METER
- SERVICE SHUTOFF
- WATER WELL
- IRRIGATION
- WATER MAIN
- WATER MAIN - OUT OF SERVICE
- WATER MAIN - TO BE TAKEN OUT OF SERVICE
- WATER MAIN - TO BE REMOVED
- CATCH BASIN COVER
- CATCH BASIN
- SEWER CLEANOUT ACCESS
- STRUCTURE BOTTOM (DIA VARIES)
- UTILITY BOX
- UTILITY
- GUY ANCHOR
- ROW - FREE ACCESS
- PARCEL LINE
- EASEMENT LINE
- SIGN POST - DOUBLE
- SIGN POST - SINGLE
- SIDEWALK
- CONCRETE
- ASPHALT

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS PROVIDED BY KEBS. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

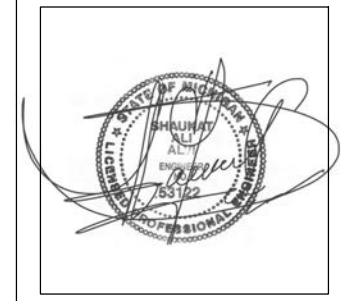
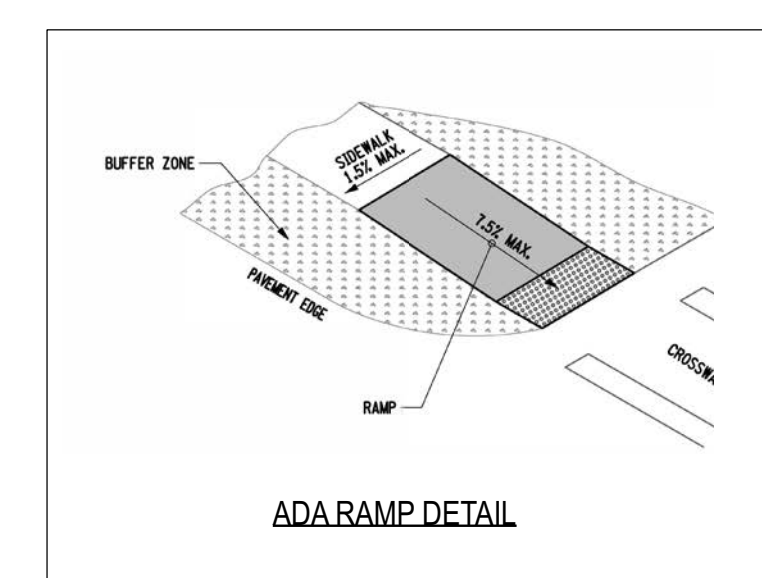
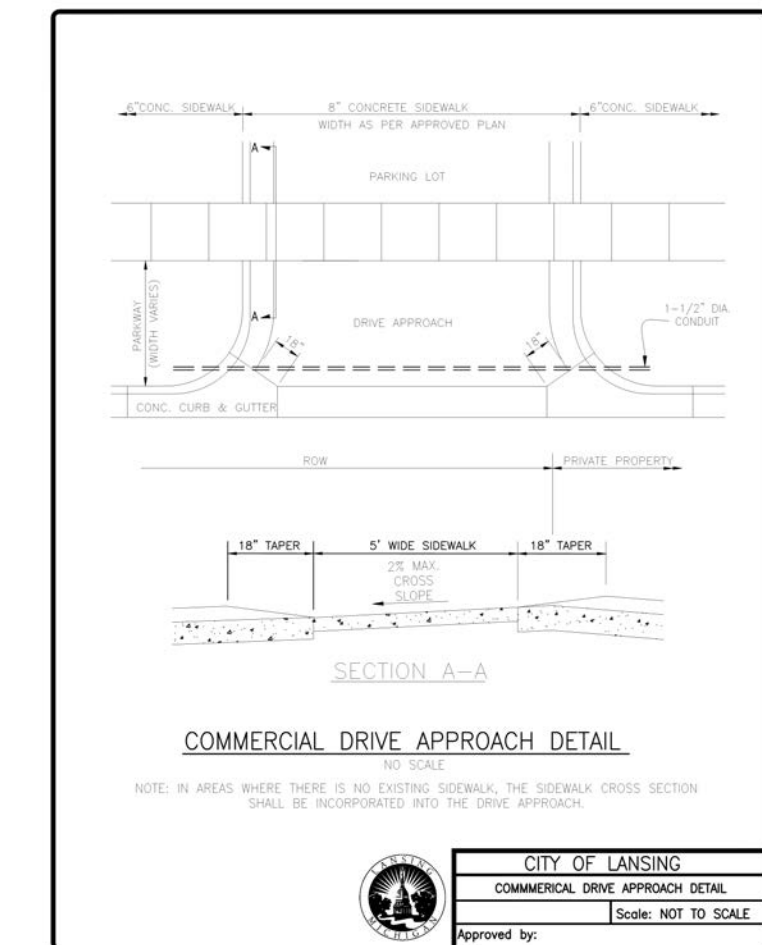
PROPOSED SITE PLAN



VICINITY MAP

PROJECT SHEET INDEX

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EXISTING SITE LAYOUT	2
SURVEY	3
PROPOSED SITE PLAN	4
SITE PARKING PLAN	5
LANDSCAPE & LIGHTING PLAN	6
SESC/GRADING/DRAINAGE PLAN	7
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REVISION TABLE	
REVISED BY	DATE

C & A ENGINEERS, LLC
 10722 CORKERY LN
 GRAND LEDGE, MI 48837
 P: 517.898.8152 E: www.candae.com

INGHAM COUNTY LAND BANK
 HICKORY POINTE CONDOMINIUMS
 400 BLOCK S. PENNSYLVANIA
 LANSING, MI 48912

PROPOSED SITE PLAN
 SITE PLAN

OWNER:
 INGHAM COUNTY LAND BANK
 3024 TURNER RD LANSING, MICHIGAN

DATE:

02/13/2025

SCALE:

1" = 20'

SHEET NO:

C.1

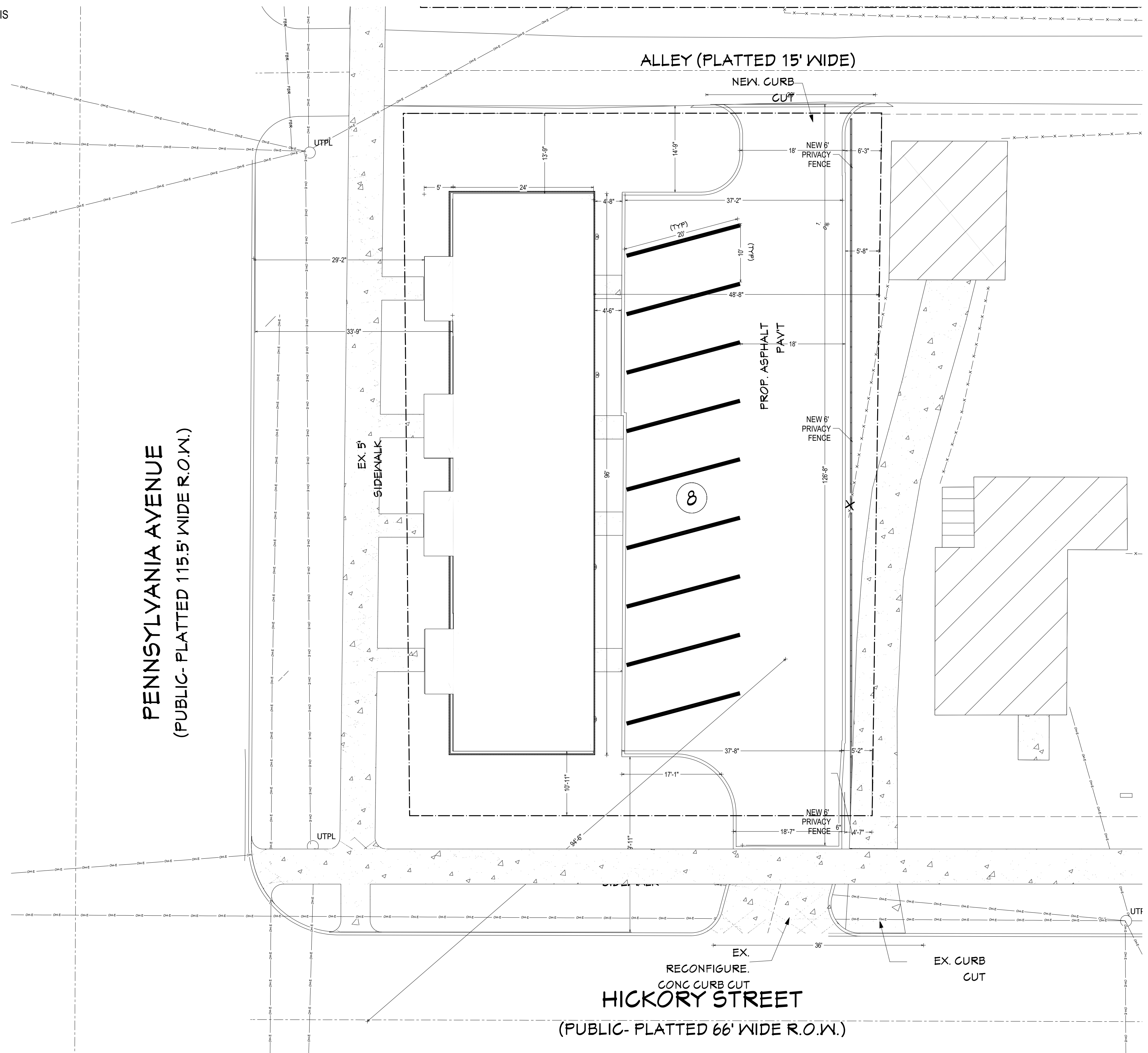
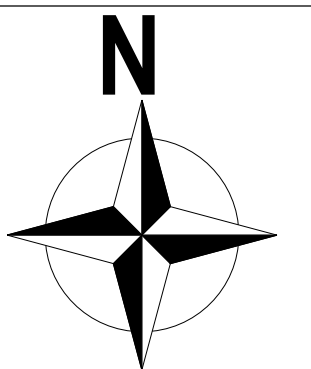
CODED NOTES

CO-OWNERS WILL UTILIZE CITY TRASH/DUMPSTER SERVICE.

SHEET NOTES

SIDEWALK SHOWN ON SITE PLAN IS FOR GENERAL INFORMATION ONLY. C&A ENGINEERS, LLC IS NOT RESPONSIBLE FOR THESE SCOPES OF WORK MEETING ACCESSIBILITY REQUIREMENTS. SITE MODIFICATIONS SHALL MEET ACCESSIBILITY REQUIREMENTS AND THE OWNER IS TO ASSIGN THIS RESPONSIBILITY.

SITE PARKING PLAN



PARKING:

PROPOSED STRIPING OF THE PARKING COMPLIES WITH THE TOWNSHIP STANDARDS FOR ZONING "R-MX MIXED RESIDENTIAL"

Multiple-Family dwellings	One (1) space per each efficiency. One and a half (1.5) spaces per 1 bedroom dwelling unit. Two (2) spaces per each unit with 2 or more bedroom.
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*PARKING PROVIDED: 8 SPACES
*DIMENSIONS: 10' W X 20' L



REVISION TABLE	REVISOR	DATE

C & A ENGINEERS, LLC
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INGHAM COUNTY LAND BANK
HICKORY POINTE CONDOMINIUMS
400 BLOCK S. PENNSYLVANIA
LANSING, MI 48912

SITE PARKING PLAN
4 UNIT BUILDING

OWNER:
INGHAM COUNTY LAND BANK
3024 TURNER RD LANSING, MICHIGAN

DATE:

02/13/2025

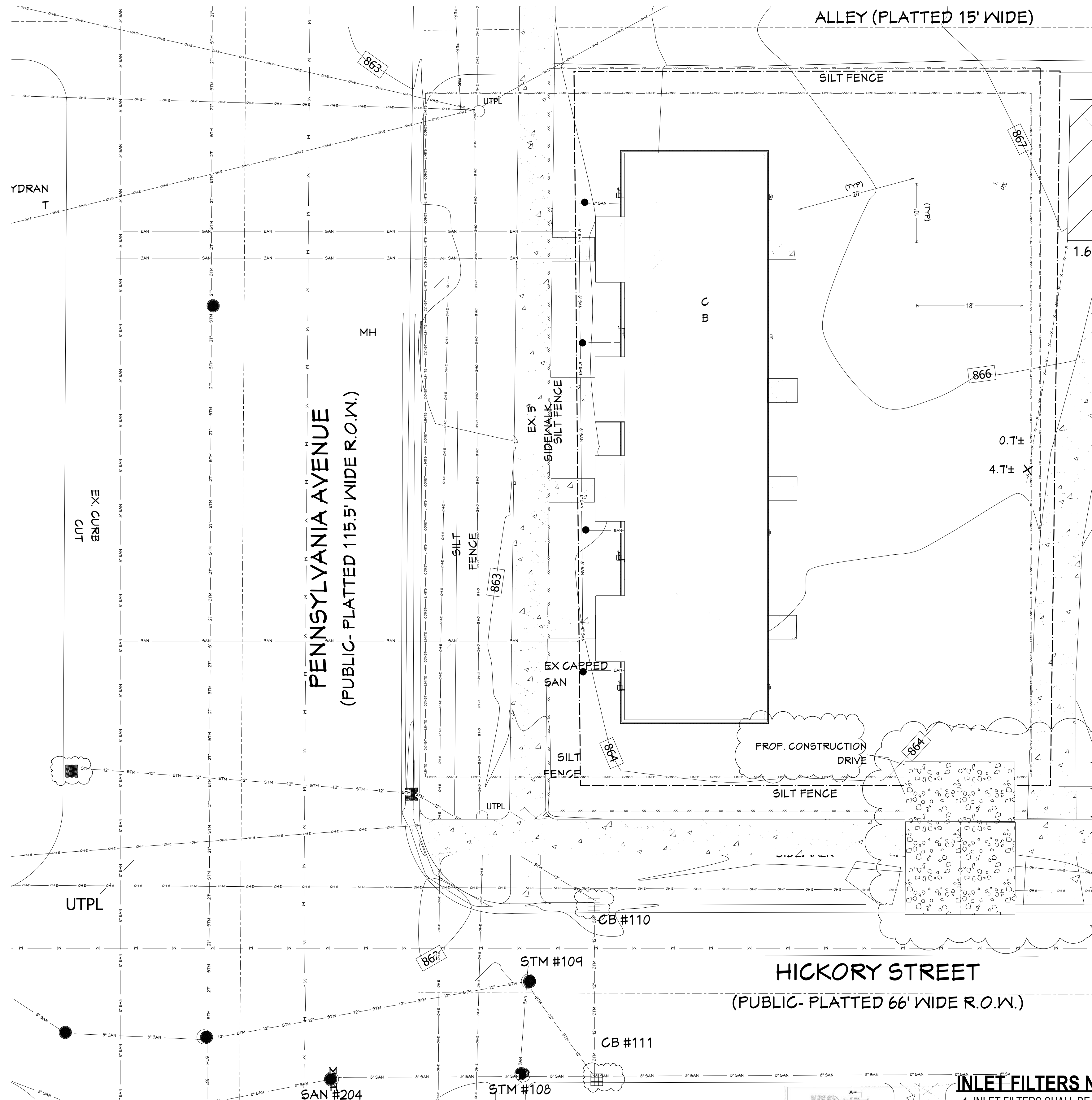
SCALE:

1" = 10'

SHEET NO:

C.2

SESC/GRADING/DRAINAGE PLAN



MAINTENANCE NOTES
 SOIL EROSION CONTROL MEASURES SHALL BE INSPECTED BY A CERTIFIED STORM WATER OPERATOR ON A WEEKLY BASIS OR WITHIN 24 HOURS OF A PRECIPITATION EVENT RESULTING IN ONE-HALF INCH OR MORE OF RAINFALL. THE OPERATOR MUST KEEP A WRITTEN LOG OF ALL INSPECTIONS AND COMPLETED REPORTS SHALL BE KEPT ON FILE AT THE CONSTRUCTION SITE. ALL REQUIRED MAINTENANCE SHALL BE PROMPTLY PROVIDED.

ALL DIRT AND MUD TRACKED ONTO ROADS DUE TO CONSTRUCTION BE REMOVED ON A DAILY BASIS BY THE CONTRACTOR.

SHOULD DUST BECOME A PROBLEM AT THE SITE, THE CONTRACTOR SHALL PROVIDE WATERING OR OTHER METHOD OF DUST CONTROL ACCEPTABLE TO THE CITY OF LANSING PUBLIC WORKS DEPARTMENT.

TEMPORARY STONE ACCESS DRIVE:

- 1 CRUSHED LIMESTONE BASE SHALL BE PLACED ON A GEOTEXTILE LIMESTONE BASE, GEOTEXTILE FILTER CLOTH OR APPROVED ALTERNATIVE.
- 2 ADDITIONAL LAYERS OF STONE OR CRUSHED LIMESTONE BASE SHALL BE ADDED IN LAYERS AND COMPACTED.
- 3 STEPS SHALL BE TAKEN TO REPAIR IF RUTS OR POOLING WATER APPEAR.

SILT FENCE:

- 1 BUILT UP SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE.
- 2 IF SILT FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USEABLE LIFE, AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE PROMPTLY REPLACED.

INLET FILTERS:

- 1 INLET FILTERS SHALL BE INSPECTED WEEKLY UNDER, WITHIN 24 HOURS OF RAINFALL AND WITHIN 24 HOURS OF RAINFALL DAILY DURING PROLONGED RAIN
- 2 BUILT-UP SEDIMENT AND DEBRIS SHALL BE REMOVED PROMPTLY.
- 3 IF INLET FILTER DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO END OF THE EXPECTED USEABLE LIFE AND THE BARRIER IS STILL REQUIRED, INLET FILTER SHALL BE REPLACED.
- 4 DEBRIS BAGS IN THE PUBLIC ROW ARE TO BE NON-BLACK IN COLOR

GENERAL SOIL EROSION CONTROL NOTES:

THE CONTRACTOR SHALL CONFORM TO PART 91 OF ACT 451 OF THE PUBLIC ACTS OF 1994; EROSION AND SEDIMENT CONTROL OF RUNOFF DURING CONSTRUCTION (AS AMENDED) AND CURRENT LOCAL ORDINANCES FOR EROSION AND SEDIMENTATION CONTROL.

PRIOR TO ANY EARTH CHANGE, THE DEVELOPER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN, COMPLETED APPLICATION AND CHECKLIST FORMS, PAY ALL FEES AND POST AN EROSION CONTROL PERFORMANCE BOND, AS REQUIRED.

CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE SOIL, EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION IN CRITICAL AREAS AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING OPERATIONS.

SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.

CLEANUP WILL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR STORM WATER DISCHARGE FROM THE CONSTRUCTION ACTIVITIES IS REQUIRED PRIOR TO ANY EARTH CHANGE.

THE CONTRACTOR IS REQUIRED TO KEEP A COPY OF THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND PERMIT AT THE CONSTRUCTION SITE.

ALL SOIL EROSION CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL SUCH MEASURES ARE PERMANENTLY STABILIZED AS DETERMINED BY THE SOIL EROSION INSPECTOR.

DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLANS SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE LOCAL JURISDICTION OR THE SOIL EROSION INSPECTOR.

ALL DISTURBED AREAS SHALL BE TOP SOILED, SEEDED, AND FERTILIZED WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL PERMANENT VEGETATION IS ESTABLISHED.

DEWATERING MAY BE REQUIRED. IF REQUIRED, CONTRACTOR SHALL ENSURE THAT DEWATERING DISCHARGE SHALL BE FREE OF ANY SEDIMENTATION PRIOR TO LEAVING THE SITE. IF USING A FILTER BAG, IT SHOULD BE PLACED ON FLAT GROUND TO ENSURE EFFICIENCY. THE FILTER BAG SHOULD BE LOCATED A SUFFICIENT DISTANCE FROM THE EXISTING WATERCOURSE OR WETLAND TO ALLOW PROPER SETTLING OR FILTERING THROUGH NATURAL VEGETATION. DEWATERING DISCHARGE SHALL BE MONITORED FOR ANY EROSION CONDITIONS. IF EROSION OCCURS, DEWATERING OPERATIONS MUST CEASE, AND THE ERODED AREA MUST BE STABILIZED IMMEDIATELY, AND MAY RESUME ONLY AFTER STABILIZATION IS COMPLETE.

ANY TEMPORARY SOILS STOCKPILE SHALL OCCUR WITHIN THE LIMITS OF THE SILT FENCE. STOCKPILES TO BE GRADED TO A MAXIMUM OF 3:1 SIDE SLOPE.

A CONCRETE WASHOUT AREA SHALL BE DESIGNATED AND UTILIZED AS NECESSARY.

GRADING SHALL BE DONE AS TO NOT DISRUPT THE STORM WATER FROM ADJACENT PROPERTIES.

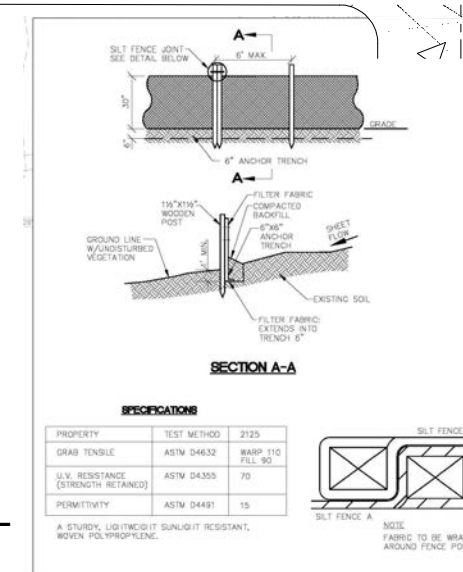
THE CONTRACTOR SHALL MAINTAIN ALL TEMPORARY AND PERMANENT CONTROL MEASURES DURING THE DURATION OF CONSTRUCTION.

SEQUENCE OF CONSTRUCTION:

1. HOLD A SESC PRE-GRADING MEETING - JULY, 2024.
2. INSTALL TRACKING MAT, ALL PERIMETER SESC MEASURES - AUG. 2024.
3. CLEAR AND EXCAVATE SITE TO SUBGRADE - AUG. 2024.
4. INSTALL BUILDING FOOTINGS & FOUNDATIONS IN ACCORDANCE WITH PERMIT - AUG. 2024.
5. CONSTRUCT UNDERGROUND UTILITIES - OCT. 2024.
6. MAINTAIN SESC MEASURES, INCLUDING CATCH BASINS AND TRACKING MAT - AS NEEDED.
7. BRING ASPHALT PAVT TO SUBBASE GRADE AND PAVT LEVEL COURSE - JAN 2025.
8. CONTINUE BUILDING CONSTRUCTION - OCT. 2024
9. FINISH GRADE, REDISTRIBUTE TOP SOIL, SEED AND MULCH ALL DISTURBED AREAS - SEPT. 2025.
10. ENSURE ALL PERMANENT CONTROL MEASURES ARE INSTALLED AND FUNCTIONING - OCT. 2025.
11. REMOVE ALL TEMPORARY SESC MEASURES. - NOV. 2025.

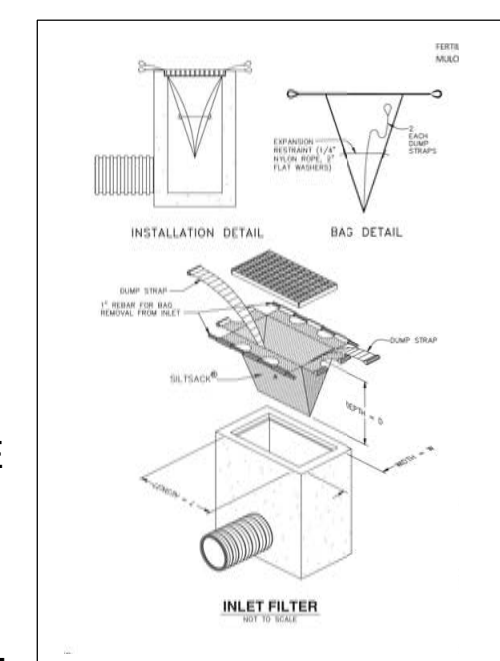
SILT FENCE NOTE:

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2. IF SILT FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USEABLE LIFE, AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE PROMPTLY REPLACED.
3. SILT FENCE SHALL NOT CROSS SITE ACCESS.



INLET FILTERS NOTE:

1. INLET FILTERS SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS OF RAINFALL AND DAILY DURING PROLONG RAIN.
2. BUILT UP SEDIMENT AND DEBRIS SHALL BE REMOVED PROMPTLY.
3. IF THE FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USEABLE LIFE, AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE PROMPTLY REPLACED
4. DEBRIS BAGS IN THE PUBLIC ROW ARE TO BE NON-BLACK IN COLOR.



GRADING NOTES
 ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.

THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES. TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.

PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.

THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.

MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:

- CURB GUTTER: 0.50%
- CONCRETE SURFACES: 1.00%
- ASPHALT SURFACES: 1.00%

A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.

FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.

THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.

THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.

THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.

THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.

ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.

A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.

THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).

THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.



REVISION	TABLE	DATE

C & A ENGINEERS, LLC
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 HICKORY POINTE CONDOMINIUMS
 400 BLOCK S. PENNSYLVANIA
 LANSING, MI 48912

SESC/GRADING/DRAINAGE PLAN

OWNER:
 INGHAM COUNTY LAND BANK
 3024 TURNER RD LANSING, MICHIGAN

DATE:
 02/13/2025

SCALE:
 1" = 10'

SHEET NO:
 C.4

GENERAL NOTES:

1. IN THE EVENT OF CONFLICT BETWEEN THESE PLANS AND THE CITY'S STANDARD NOTES, THE CITY'S STANDARDS SHALL PREVAIL.
2. ALL PROPOSED UTILITY MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS, SPECIFICATIONS AND CONSTRUCTION DETAILS OF THE CITY OF LANSING.
3. REFER TO THE STANDARD DETAILS OF THE AUTHORITY HAVING JURISDICTION REGARDING UTILITY TRENCH BEDDING AND BACKFILL REQUIREMENTS.
4. REFER TO THE STANDARD DETAILS OF THE AUTHORITY HAVING JURISDICTION REGARDING REQUIRED MANHOLE AND CASTING DETAILS AND TYPES.
5. CONTRACTOR SHALL COORDINATE SCHEDULING AND PROCEDURES WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO PERFORMING THE PROPOSED CONNECTIONS TO THE EXISTING UTILITIES.
6. A MINIMUM VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE APPROVED.
7. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN SANITARY SEWER LINES AND POTABLE WATER LINES.
8. NO CONNECTIONS TO EXISTING WATER MAINS SHALL BE MADE UNTIL AFTER THE NEW MAIN HAS SUCCESSFULLY PASSED BACTERIOLOGICAL AND HYDROSTATIC TESTS.
9. NO CONNECTION RECEIVING STORM WATER, SURFACE WATER OR GROUND WATER SHALL BE MADE TO SANITARY SEWERS.
10. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL DRAWINGS FOR ALL UTILITY CONNECTIONS TO THE BUILDING. CONTRACTOR SHALL CONFIRM ALL BUILDING CONNECTION LOCATIONS AND ELEVATIONS AND NOTIFY THE PROJECT TEAM OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
11. PRIVATE UTILITIES (INCLUDING ELECTRIC, GAS, PHONE, AND CABLE) SHOWN FOR SCHEMATIC PURPOSES ONLY. ALL PRIVATE UTILITY ROUTING AND INSTALLATION SHALL BE COORDINATED BY THE RESPECTIVE UTILITY COMPANY AND/OR THE CONTRACTOR.
12. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WITHIN THE AREAS OF PROPOSED DEVELOPMENT.
13. THE CONTRACTOR SHALL CALL "MISS DIG" AT LEAST THREE BUSINESS DAYS PRIOR TO THE START OF ANY CONSTRUCTION ON THE SITE.
14. THERE ARE FIRE WALLS WITHIN THE PROPOSED BUILDING.
15. BOOSTER PUMPS ARE NOT PROPOSED WITHIN THE PROPOSED BUILDING.
16. PIPE MATERIALS FOR PUBLIC SANITARY SEWER SYSTEMS
 - (1) VCP C700ES FOR DIAMETER UP TO 18 INCHES AND DEPTHS LESS THAN 14 FEET.
 - (2) PVC - SDR 26 OR TRUSS PIPE
16. ALL SANITARY SEWER PIPE AND LEADS SHALL BE 6 INCH

UTILITY KEY NOTES:

1. CONNECT DIRECTLY TO EXISTING CITY SANITARY. THE LEAD SHALL BE TIED IN TOWARD THE TOP OF THE EXISTING SANITARY SEWER.
2. INSTALL NEW 2 INCH COPPER WATER LINE SUPPLY SERVICE, WITH SHUT OFF VALVES.
- 3.
4. INSTALL 6" PVC-SDR 26, SANITARY SEWER LINE. PIPE SLOPE SHALL BE 1% MIN.
5. CONNECT TO NEW GAS LINE (UNDERGROUND)
6. CONNECT TO NEW ELECTRICAL LINE (UNDERGROUND) W/DISCONNECT & METER BANK
7. INSTALL NEW SANITARY SEWER CLEAN-OUT (EVERY 100 FEET)
8. HEATED AND LOCK METER ROOM
9. CONNECT TO BWL WATER MAIN COORDINATE WITH BWL
10. ROOF DRAINS SHALL BE CONNECTED TO NEW STORM SEWER SYSTEM.

ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.

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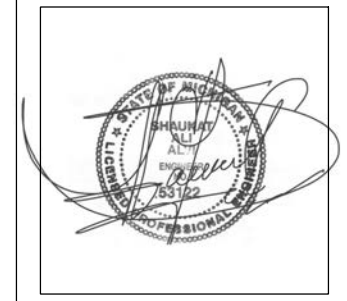
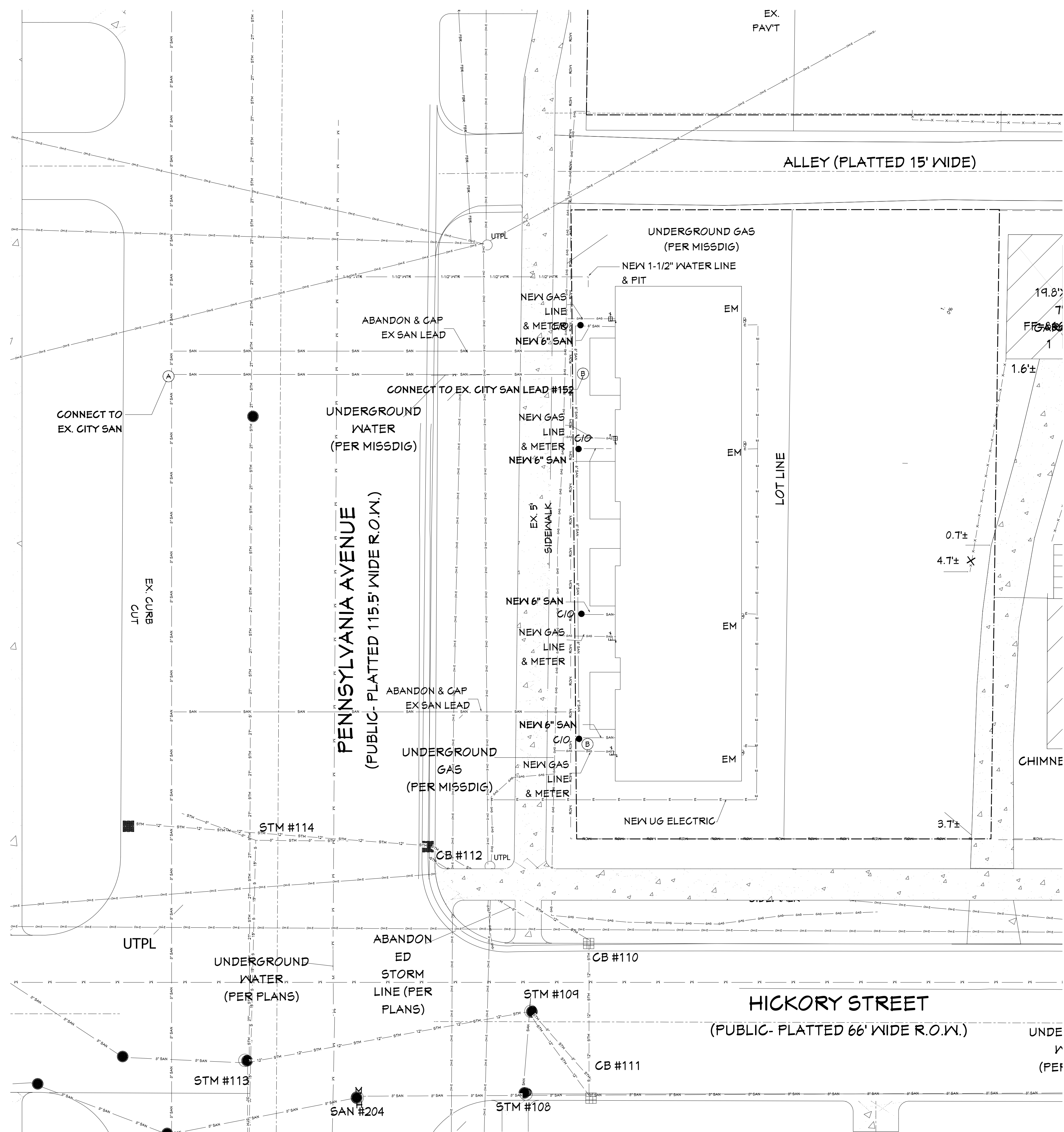
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- CONCRETE SURFACES: 1.00%
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A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.

FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

UTILITIES



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UTILITIES

OWNER:
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 3024 TURNER RD LANSING, MICHIGAN

DATE:

02/13/2025

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C.5

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- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL DRAWINGS FOR ALL UTILITY CONNECTIONS TO THE BUILDING. CONTRACTOR SHALL CONFIRM ALL BUILDING CONNECTION LOCATIONS AND ELEVATIONS AND NOTIFY THE PROJECT TEAM OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WITHIN THE AREAS OF PROPOSED DEVELOPMENT.
- THE CONTRACTOR SHALL CALL "MISS DIG" AT LEAST THREE BUSINESS DAYS PRIOR TO THE START OF ANY CONSTRUCTION ON THE SITE.
- A BURIED PERFORATED PIPE WRAPPED IN FABRIC THAT COLLECTS WATER SHALL BE USED TO COLLECT WATER FROM THE WEST SIDE OF THE BUILDING (ROOF DOWNSPOUTS) AND DIRECTS IT TO THE STORM DRAIN CHAMBER.

STORMWATER PLAN

EXISTING ELEV XXX
 PROPOSED ELEV XXX

- 1 NEW STORM STRUCTURE
- 2 NEW 6" STORM SEWER
- 3 CONNECT TO EX. MANHOLE ON #109

Stormwater Management Requirements

Site Name: 400 PENNSYLVANIA AVE
 Outlet ID: 0

Sub-Drainage District ID | Area (acres) | Description/Hydrologic Group | Runoff Coefficient (C) | A/C | Curve Number (CN) | A/CN

1	0.20	Lawn (Type B)	0.30	0.050	58	11.60
2	0.00	Impervious Cover (sidewalk)	0.95	0.877	91	1.64
3	0.00					
4	0.00					
5	0.00					
6	0.00					
TOTAL AREA (acres)	0.22		Weighted C	0.39	Weighted CN	61

POST-DEVELOPMENT CONDITIONS

1	0.11	Impervious Cover (pavement)	0.95	0.102	98	10.40
2	0.05	Lawn (Type B)	0.30	0.018	58	3.13
3	0.06	Impervious Cover (rooftop)	0.95	0.054	98	5.58
4	0.00					
5	0.00					
6	0.00					
TOTAL AREA (acres)	0.22		Weighted C	0.79	Weighted CN	88

Summary

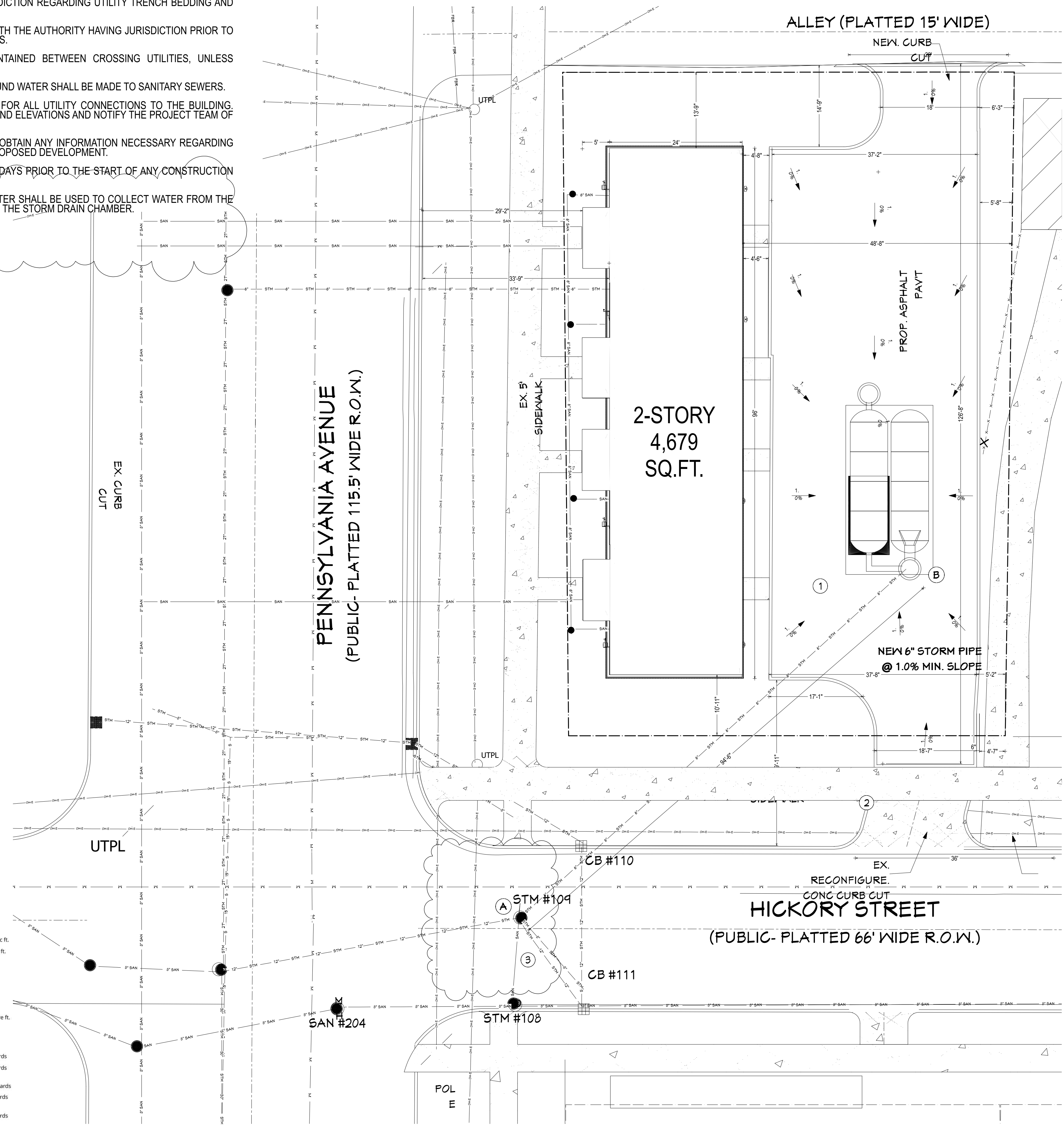
Outlet ID	0
Total Acreage (ac)	0.22
Weighted C - Proposed Conditions	0.79
Weighted CN - Proposed Conditions	88
Time of Concentration PRE (hr)	0.85
Time of Concentration POST (hr)	0.85
Water Quality (WQ) Volume (ft ³)	624
Channel Protection (CP) Volume (ft ³)	1,126
Infiltration Volume (ft ³) - Required	1,126
Infiltration Volume (ft ³) - Provided	3,535
25-Year Peak Allowable Discharge (cfs)	0.00
25-Year Flood Protection (FP) Volume (ft ³)	1,785
25-Year TOTAL BASIN VOLUME (ft ³) - Pre vs Post	1,785
25-Year TOTAL BASIN VOLUME (ft ³) - Restricted Outlet	2,598
25-Year Volume (ft ³) - REQUIRED (net of infiltration)	-937

Other #1

f BMP	STORMTECH CHAMBER
Avg Design Infiltration Rate (in/hr)	0.00
sa (ft ²)	0
Volume (ft ³)	2,910

ADS

User Inputs		Results	
Chamber Model:	MC-7200	System Volume and Bed Size	
Outlet Control Structure:	Yes	Installed Storage Volume:	2910.41 cubic ft.
Project Name:	400 Pennsylvania Ave	Storage Volume Per Chamber:	175.90 cubic ft.
Engineer:	James CARTER	Number Of Chambers Required:	8
Project Location:	Michigan	Number Of End Caps Required:	4
Measurement Type:	Imperial	Chamber Rows:	2
Required Storage Volume:	2598 cubic ft.	Maximum Length:	37.60 ft.
Stone Porosity:	40%	Maximum Width:	19.42 ft.
Stone Foundation Depth:	9 in.	Approx. Bed Size Required:	730.11 square ft.
Stone Above Chambers:	12 in.	Average Cover Over Chambers:	N/A.
Design Constraint Dimensions:	(94 ft. x 35 ft.)	System Components	
		Amount of Stone Required:	125 cubic yards
		Volume Of Excavation (Not Including Fill):	183 cubic yards
		Total Non-woven Geotextile Required:	298 square yards
		Woven Geotextile Required (excluding Isolator Row):	22 square yards
		Woven Geotextile Required (Isolator Row):	75 square yards
		Total Woven Geotextile Required:	96 square yards
		Impervious Liner Required:	0 square yards



Flood Protection Volume: 10-yr

Site Name: 400 PENNSYLVANIA AVE
 Total Site Area (acres): 0.00
 10-Year, 24-Hour Rainfall: 3.56

Pre-development Conditions

Cover Type/Soil Type	Area (sf)	Area (ac)	CN	S	Q Runoff (in)	Runoff Volume (ft ³)
Lawn (Type B)	8,712	0.20	58	7.2	0.48	346
Impervious Cover (sidewalk)	784	0.02	91	1.0	2.60	170
	0	0.00	0			0
	0	0.00	0			0
	0	0.00	0			0
TOTAL	9,496	0.22	N/A	N/A	N/A	516

Post-development Conditions

Cover Type/Soil Type	Area (sf)	Area (ac)	CN	S	Q Runoff (in)	Runoff Volume (ft ³)
Impervious Cover (pavement)	4,661	0.11	98	0.2	3.33	1,292
Lawn (Type B)	2,352	0.05	58	7.2	0.48	93
Impervious Cover (rooftop)	2,483	0.06	98	0.2	3.33	688
	0	0.00	0			0
	0	0.00	0			0
TOTAL	9,496	0.22	N/A	N/A	N/A	2,074

V₁₀ Runoff Volume Increase (ft³) = 1,558
 10-year peak detention pond discharge (cfs) = 0.06

Flood Protection Volume: 100-yr

Site Name: 400 PENNSYLVANIA AVE
 Total Site Area (acres): 0.00
 100-Year, 24-Hour Rainfall: 5.71

Pre-development Conditions

Cover Type/Soil Type	Area (sf)	Area (ac)	CN	S	Q Runoff (in)	Runoff Volume (ft ³)
Lawn (Type B)	8,712	0.20	58	7.2	1.58	1,146
Impervious Cover (sidewalk)	784	0.02	91	1.0	4.67	305
	0	0.00	0			0
	0	0.00	0			0
	0	0.00	0			0
TOTAL	9,496	0.22	N/A	N/A	N/A	1,452

Post-development Conditions

Cover Type/Soil Type	Area (sf)	Area (ac)	CN	S	Q Runoff (in)	Runoff Volume (ft ³)
Impervious Cover (pavement)	4,661	0.11	98	0.2	5.47	2,125
Lawn (Type B)	2,352	0.05	58	7.2	1.58	309
Impervious Cover (rooftop)	2,483	0.06	98	0.2	5.47	1,132
	0	0.00	0			0
	0	0.00	0			0
TOTAL	9,496	0.22	N/A	N/A	N/A	3,567

V₁₀₀ Runoff Volume Increase (ft³) = 2,116
 100-year peak detention pond discharge (cfs) = 0.21

Flood Protection Volume: 25-yr

Site Name: 400 PENNSYLVANIA AVE
 Total Site Area (acres): 0.00
 25-Year, 24-Hour Rainfall: 4.33

Pre-development Conditions

Cover Type/Soil Type	Area (sf)	Area (ac)	CN	S	Q Runoff (in)	Runoff Volume (ft ³)
Lawn (Type B)	8,712	0.20	58	7.2	0.82	596
Impervious Cover (sidewalk)	784	0.02	91	1.0	3.33	218
	0	0.00	0			0
	0	0.00	0			0
	0	0.00	0			0
TOTAL	9,496	0.22	N/A	N/A	N/A	813

Post-development Conditions

Cover Type/Soil Type	Area (sf)	Area (ac)	CN	S	Q Runoff (in)	Runoff Volume (ft ³)
Impervious Cover (pavement)	4,661	0.11	98	0.2	4.09	1,590
Lawn (Type B)	2,352	0.05	58	7.2	0.82	161
Impervious Cover (rooftop)	2,483	0.06	98	0.2	4.09	847
	0	0.00	0			0
	0	0.00	0			0
TOTAL	9,496	0.22	N/A	N/A	N/A	2,598

V₂₅ Runoff Volume Increase (ft³) = 1,785
 25-year peak detention pond discharge (cfs) = 0.11

REVISION TABLE

NO.	DATE	DESCRIPTION

C & A ENGINEERS, LLC
 10722 CORKERY LN
 GRAND LEDGE, MI 48837
 P: 517.888.6162 E: www.candae.com

INGHAM COUNTY LAND BANK
 HICKORY POINTE CONDOMINIUMS
 400 BLOCK S. PENNSYLVANIA
 LANSING, MI 48912

STORMWATER PLAN

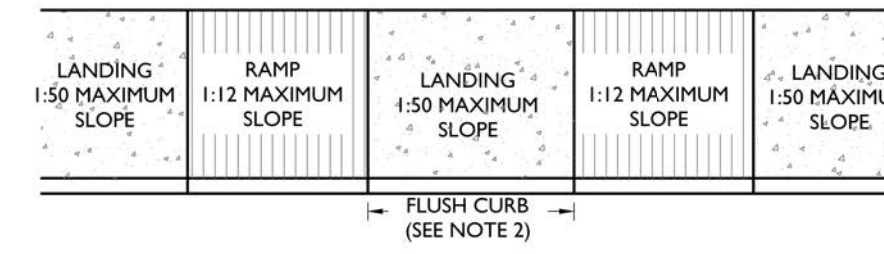
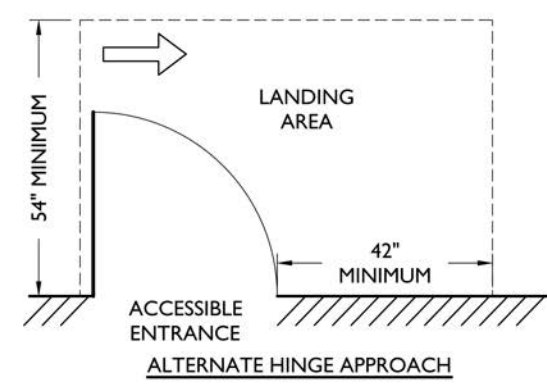
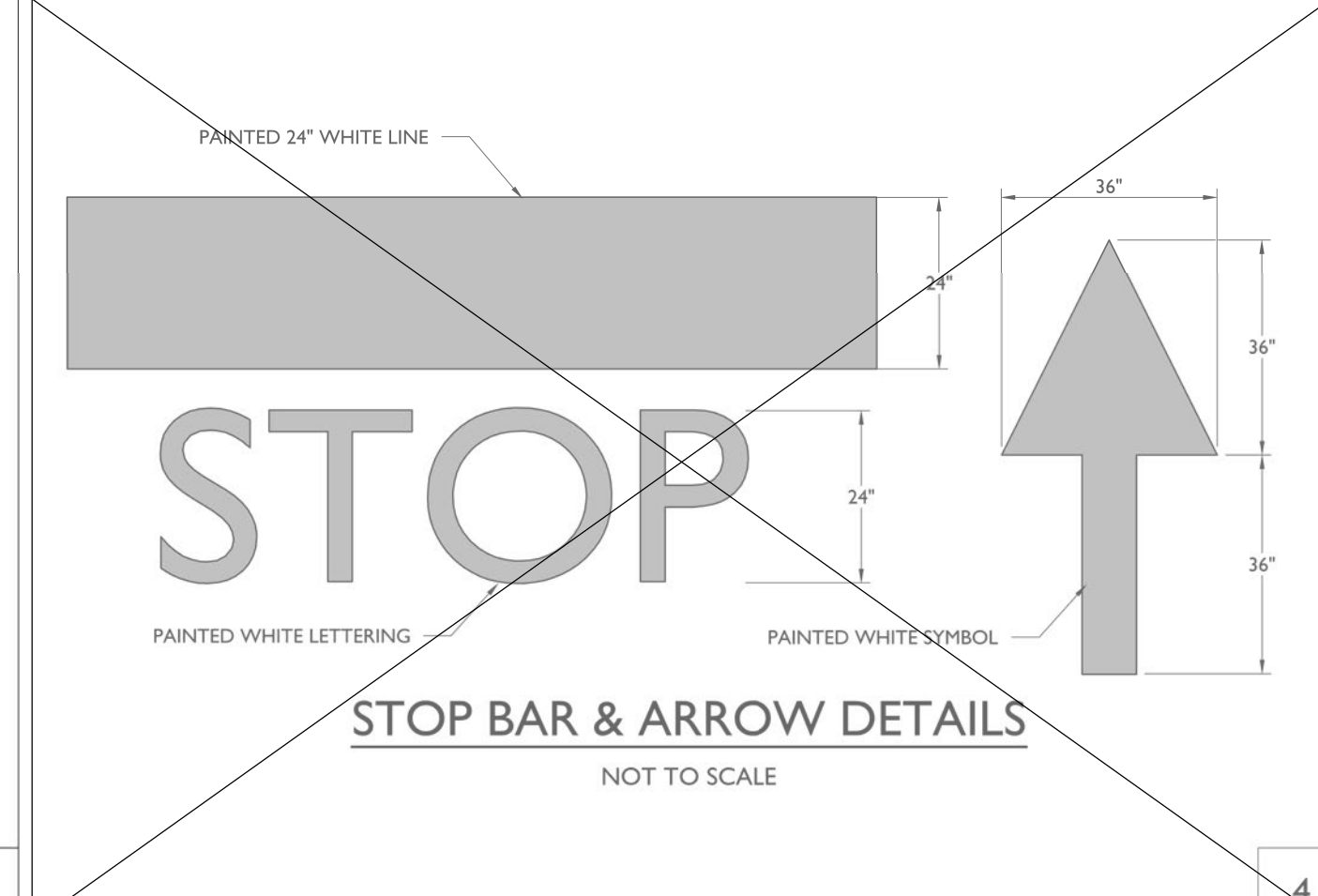
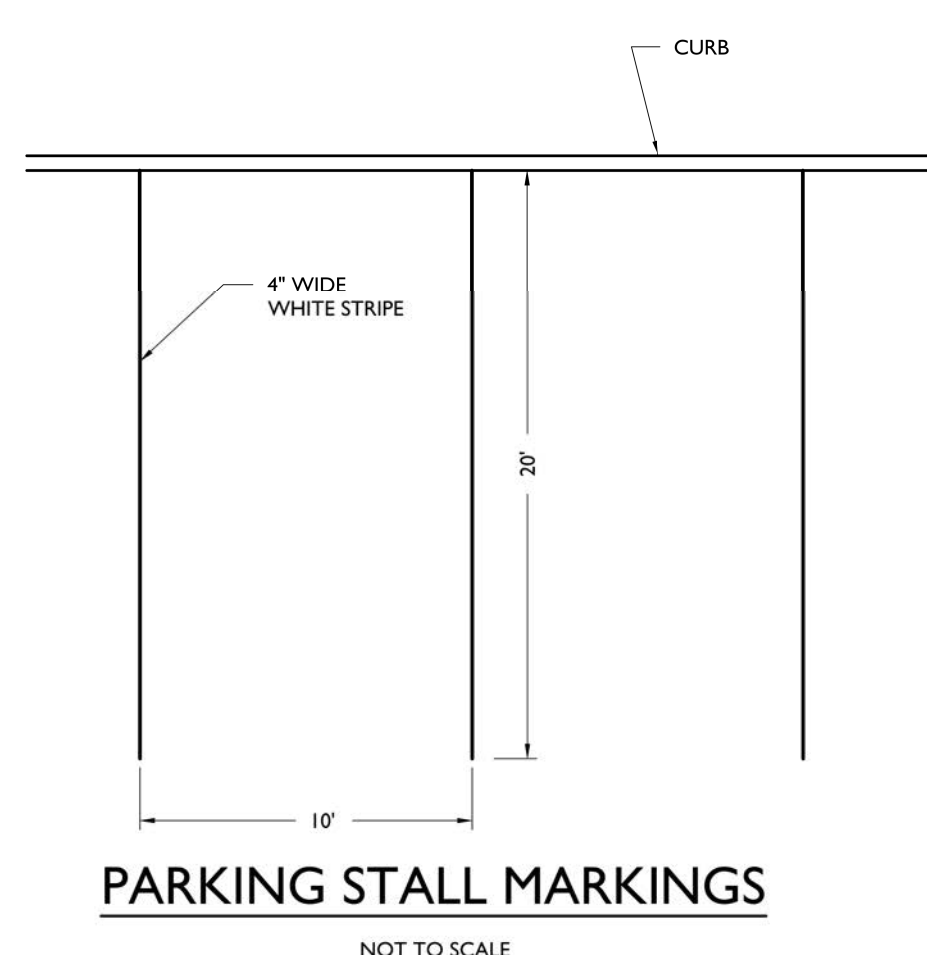
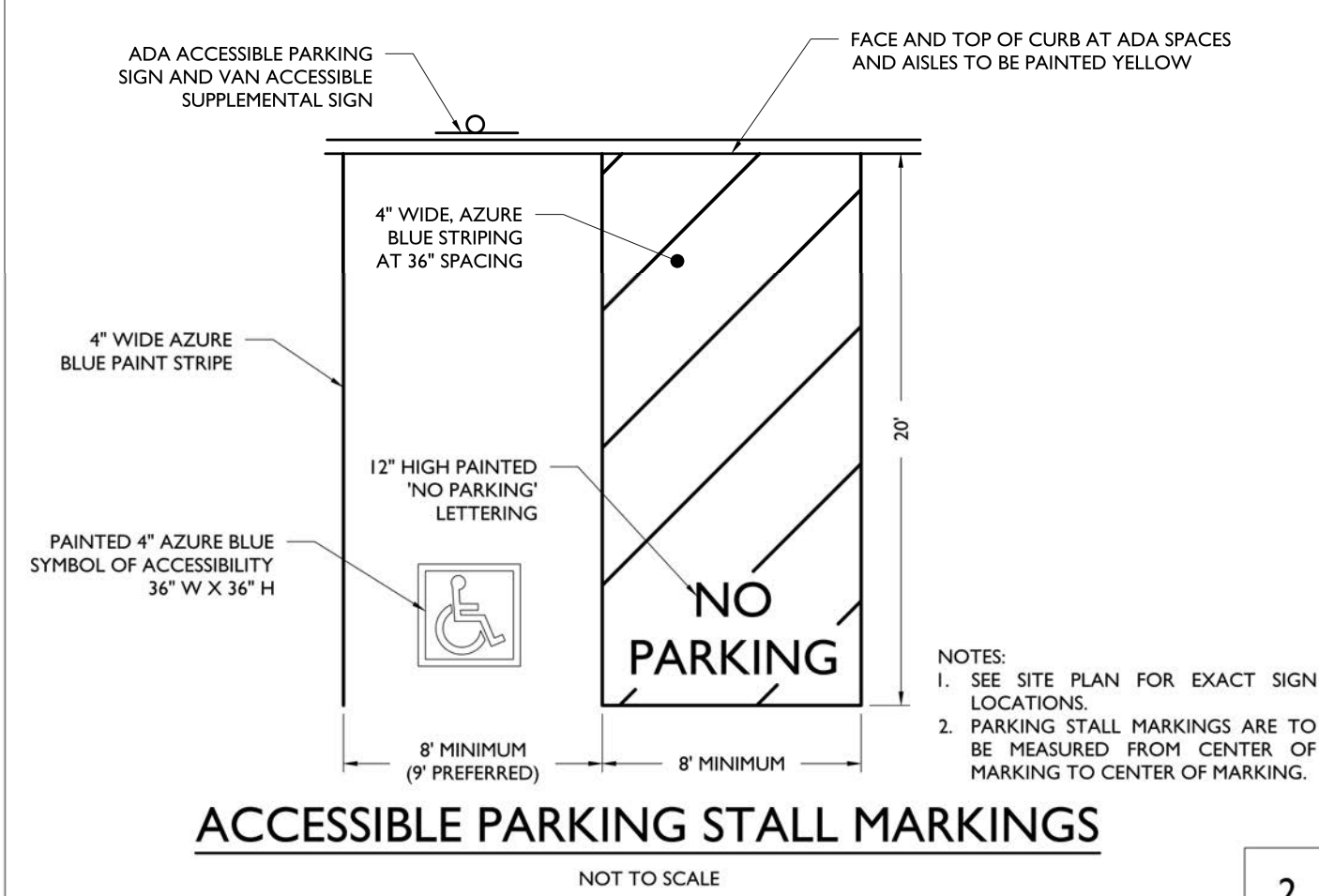
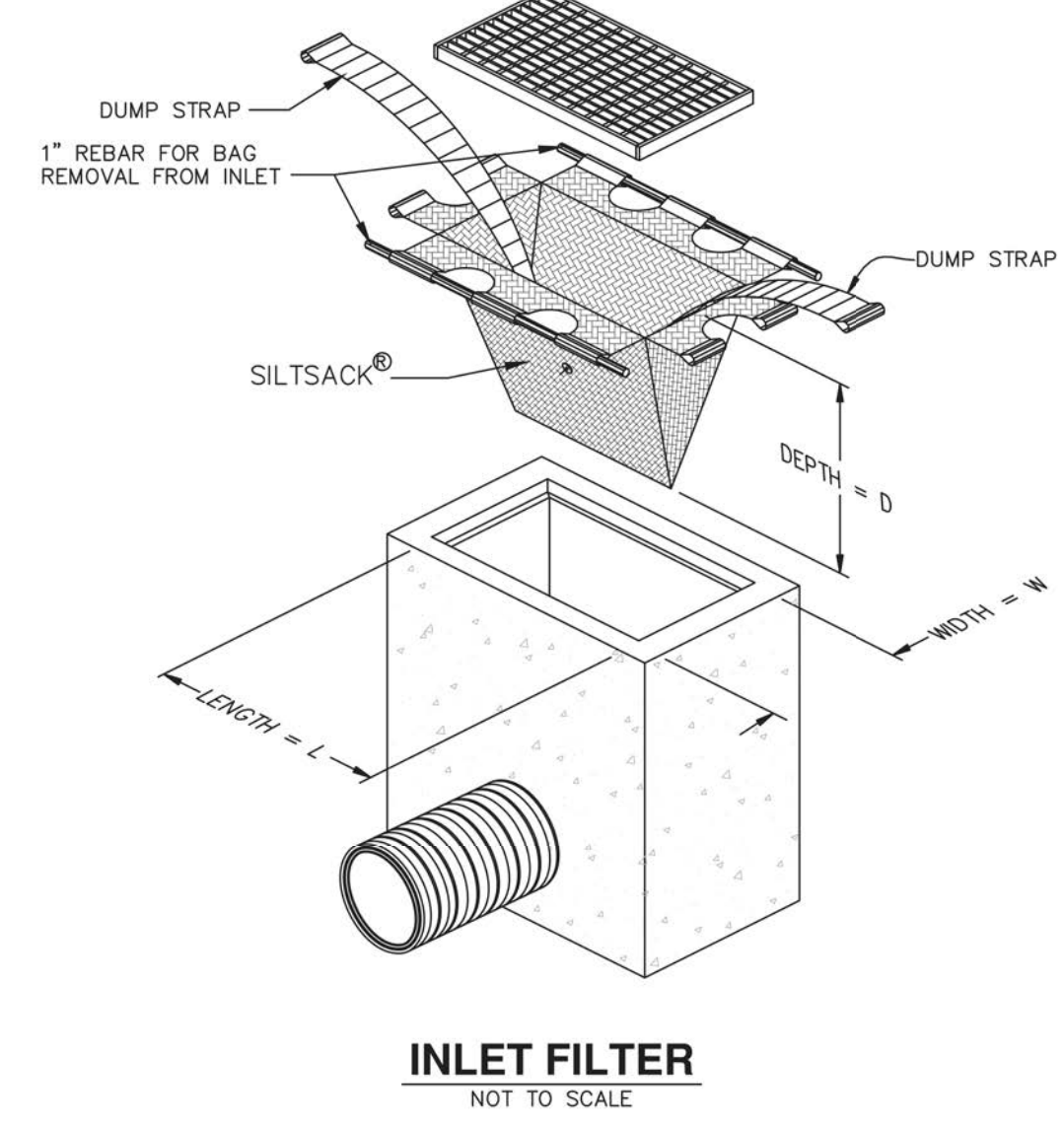
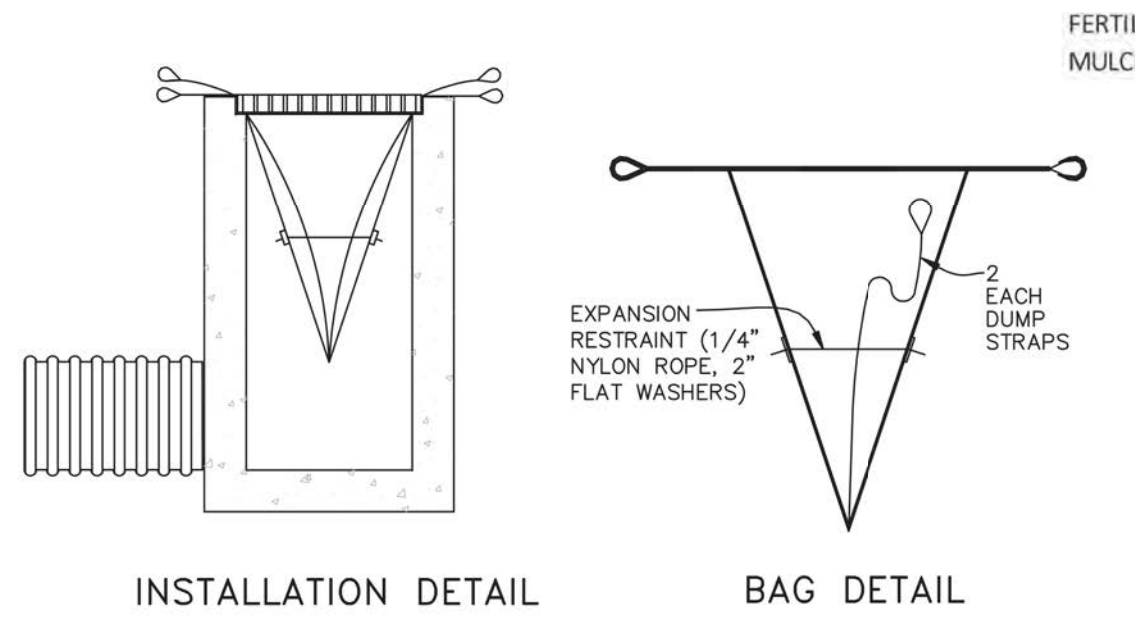
OWNER:
 INGHAM COUNTY LAND BANK
 3024 TURNER RD LANSING, MICHIGAN

DATE:
 02/13/2025

SCALE:
 1" = 20'

SHEET NO:
 C.6

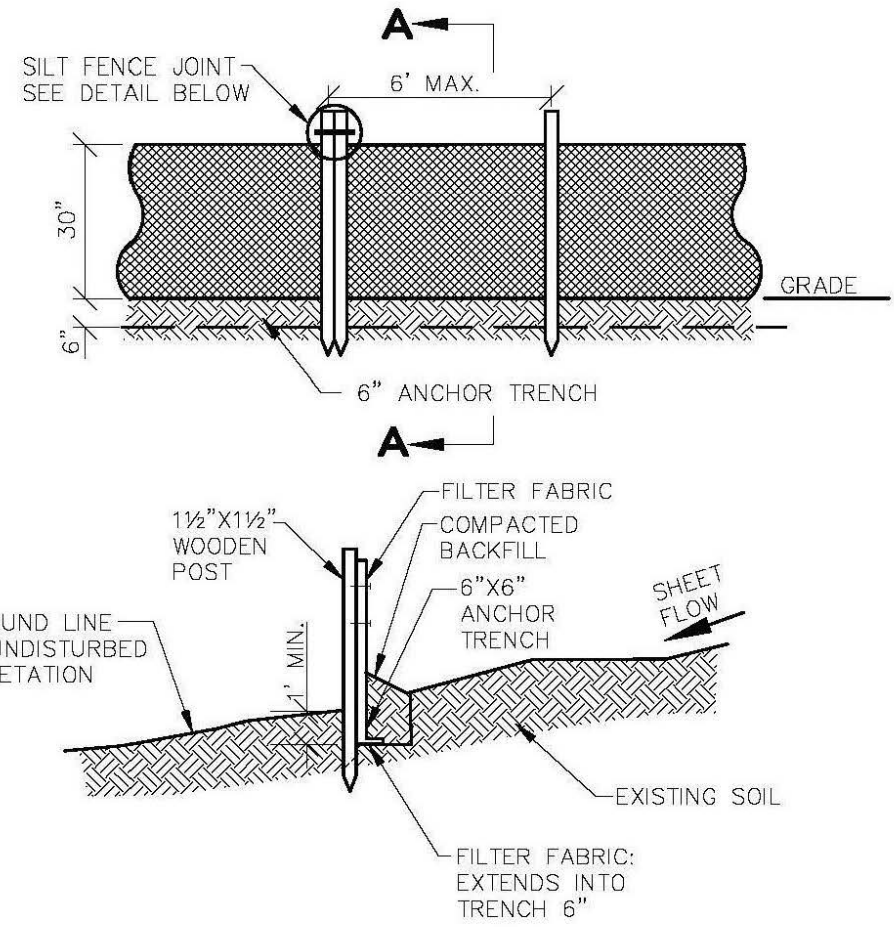
CONSTRUCTION DETAILS



- PAVEMENT STRIPING & MARKINGS NOTES:**
- ALL SIGNING AND STRIPING IN EXISTING CONDITION IN CONFLICT WITH THE PROPOSED DESIGN PLAN SHALL BE REMOVED.
 - ALL PROPOSED SIGNING AND STRIPING SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
 - PAVEMENT STRIPING AND MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, ALL STRIPING AND MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE OF THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.
 - UNLESS OTHERWISE SPECIFIED, ON SITE PARKING STALL STRIPING, FIRE LANE STRIPING AND DIRECTIONAL ARROWS SHALL BE EPOXY PAINT. ON SITE STOP BARS, "DO NOT ENTER" BARS, AND ASSOCIATED LETTERING SHALL BE THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.

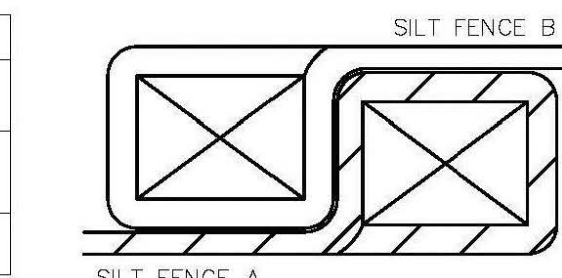
- NOTES:**
- MAXIMUM SLOPE ON LANDING SHALL BE 1:50 IN ALL DIRECTIONS.
 - DIMENSIONS SHOWN HERE ARE THE MINIMUM DIMENSIONS REQUIRED FOR AN ADA COMPLIANT LANDING AT THE ACCESSIBLE ENTRANCE. REFER TO SITE PLAN FOR SITE SPECIFIC DIMENSIONS THAT MAY SPECIFY A LARGER LANDING AREA.
 - CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONSTRUCTION IF THE ACCESSIBLE ENTRANCE ON SITE DOES NOT MATCH THE SCENARIO SHOWN ABOVE.

- NOTES:**
- CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.
 - A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
 - RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.

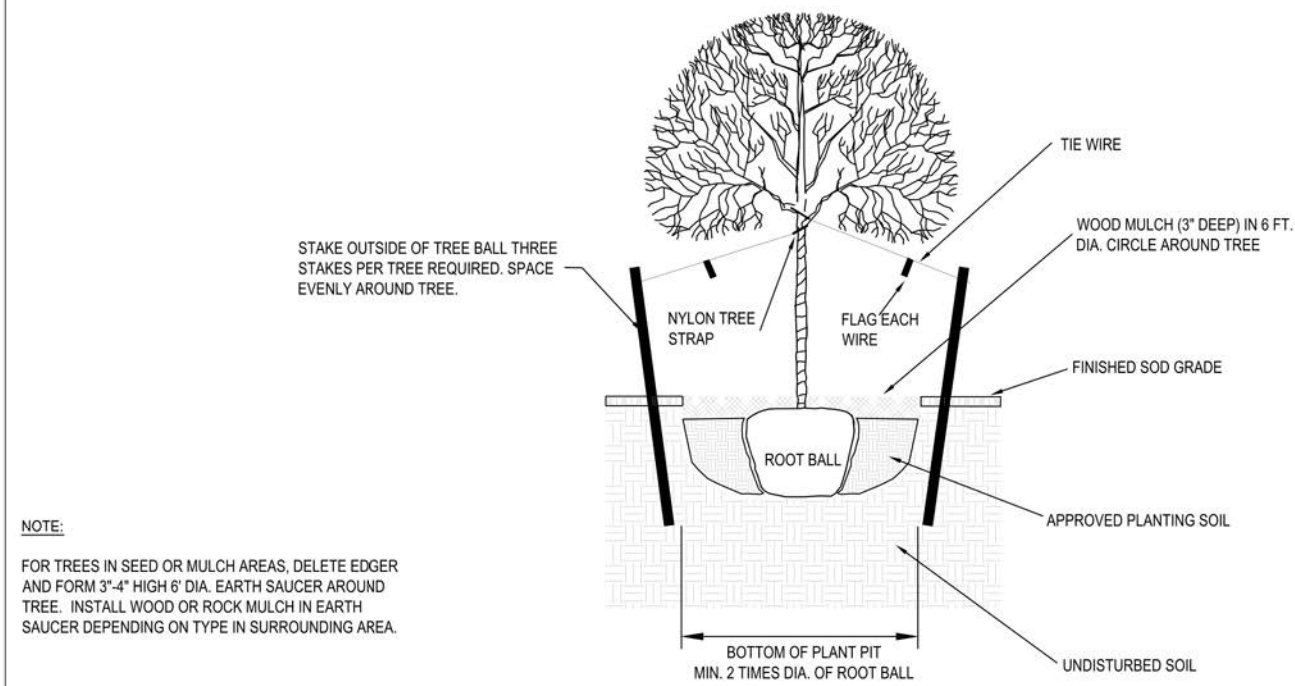


SPECIFICATIONS

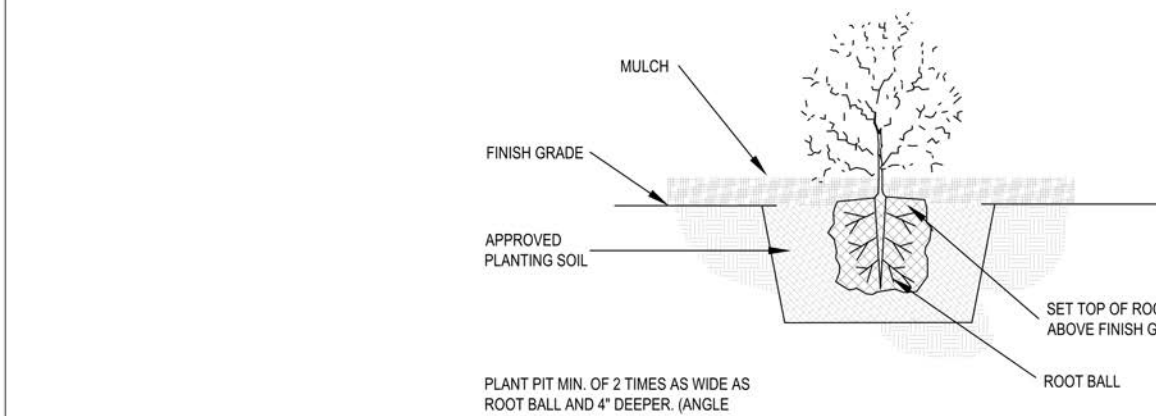
PROPERTY	TEST METHOD	2125
GRAB TENSILE	ASTM D4632	WARP 110 FILL 90
U.V. RESISTANCE (STRENGTH RETAINED)	ASTM D4355	70
PERMITTIVITY	ASTM D4491	15



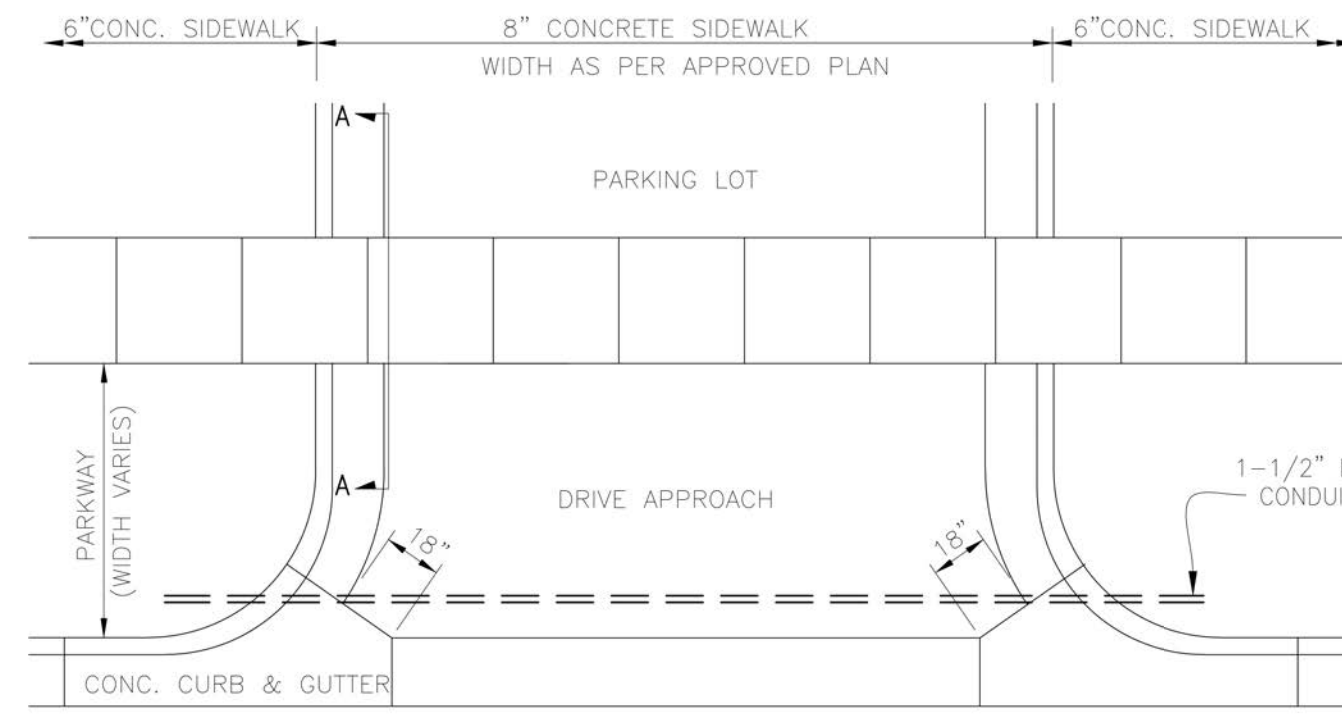
S26 EROSION CONTROL SILT FENCE
NO SCALE



NO SCALE TYPICAL TREE PLANTING DETAILS

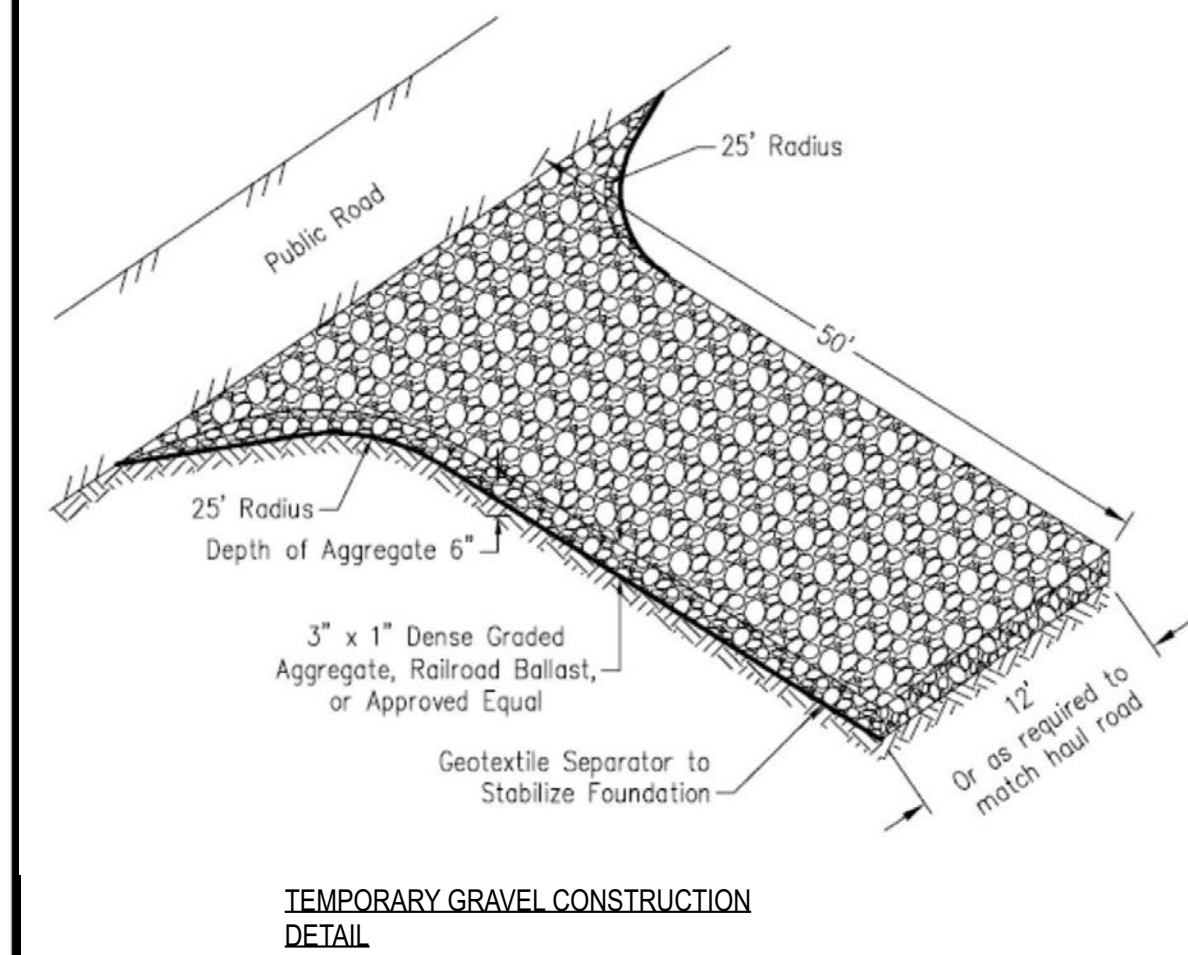
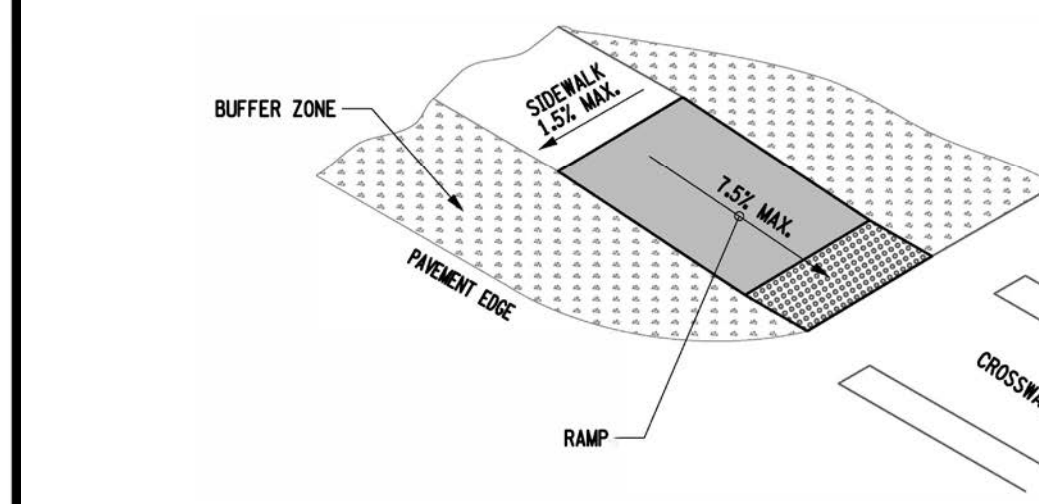



NO SCALE SHRUB PLANTING DETAILS



COMMERCIAL DRIVE APPROACH DETAIL
NO SCALE

NOTE: IN AREAS WHERE THERE IS NO EXISTING SIDEWALK, THE SIDEWALK CROSS SECTION SHALL BE INCORPORATED INTO THE DRIVE APPROACH.





REVISION TABLE	DATE

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INGHAM COUNTY LAND BANK
HICKORY POINTE CONDOMINIUMS
400 BLOCK S. PENNSYLVANIA
LANSING, MI 48912

CONSTRUCTION DETAILS

OWNER:
INGHAM COUNTY LAND BANK
3024 TURNER RD LANSING, MICHIGAN

DATE: 02/13/2025

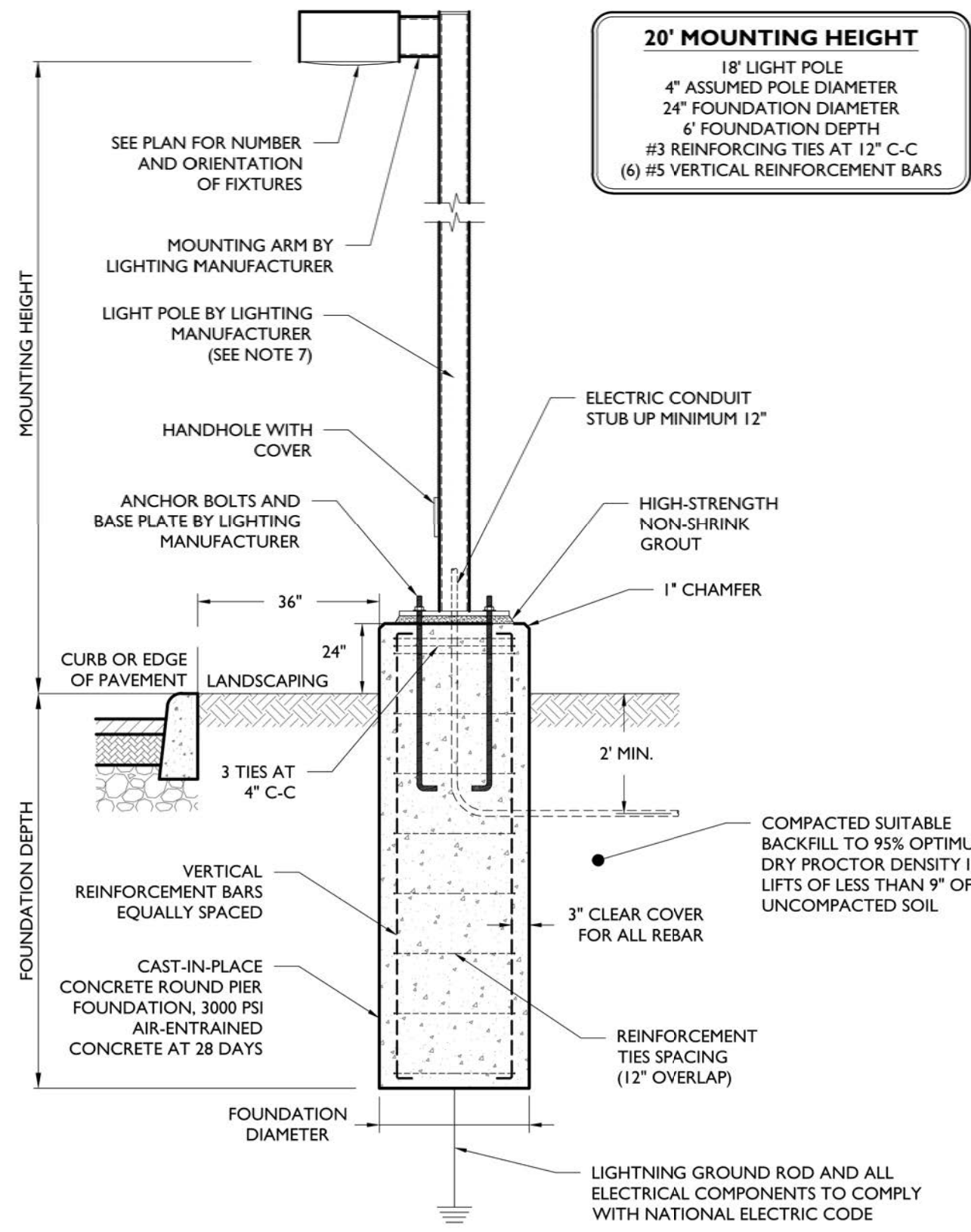
SCALE:

SHEET NO: C.8

CITY OF LANSING
COMMERCIAL DRIVE APPROACH DETAIL
Scale: NOT TO SCALE

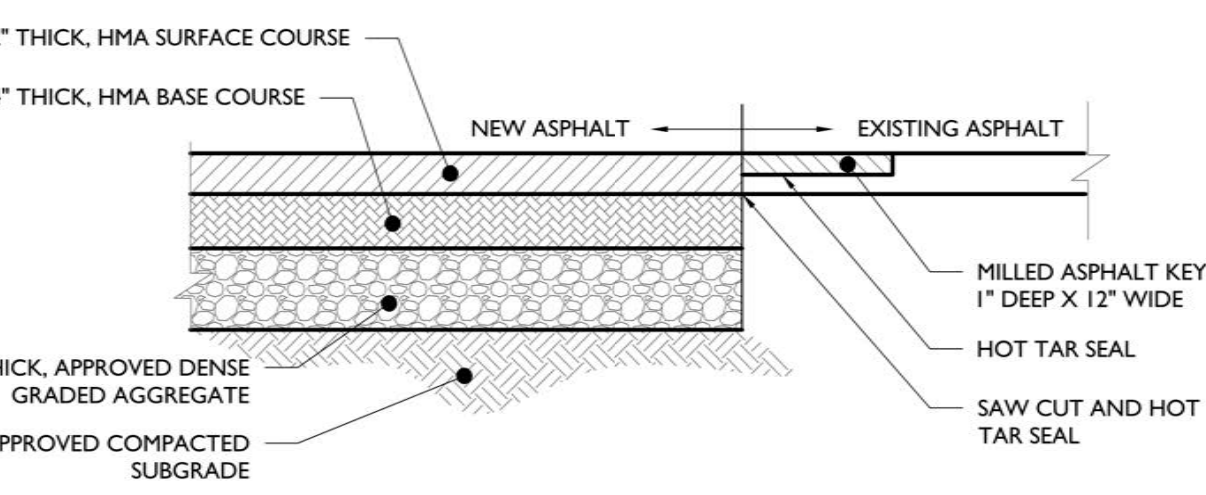
Approved by: _____

CONSTRUCTION DETAILS



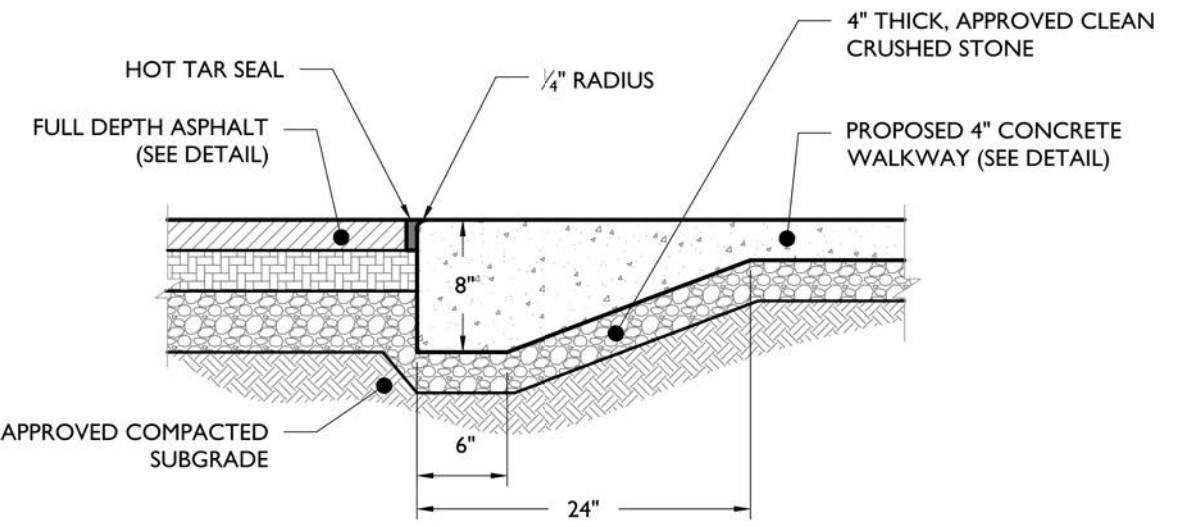
LIGHT POLE INSTALLATION DETAIL

- NOTES:
1. MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 2. CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 3. ALL REBAR TO BE NEW GRADE 60 STEEL.
 4. PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 5. CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 6. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 7. POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANS/AISC 7-93.
 8. POUR TO BE TERMINATED AT A FORM.
 9. WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 10. CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.



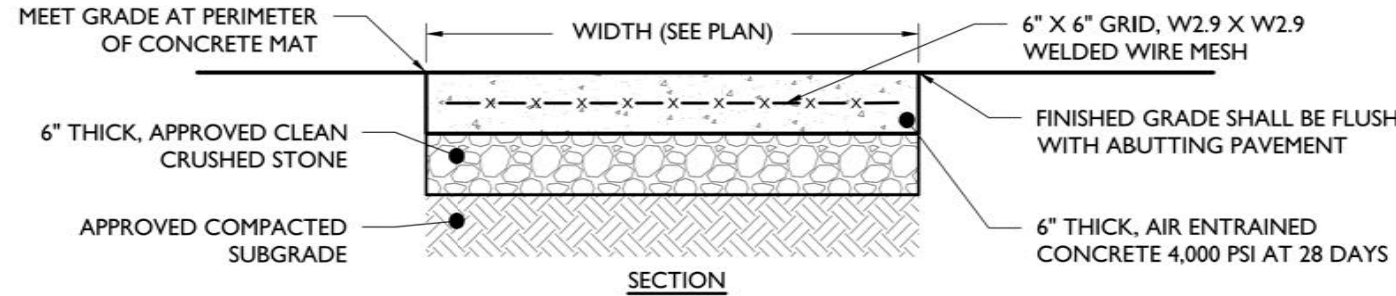
FULL DEPTH ASPHALT PAVEMENT DETAIL

- NOTE:
- HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



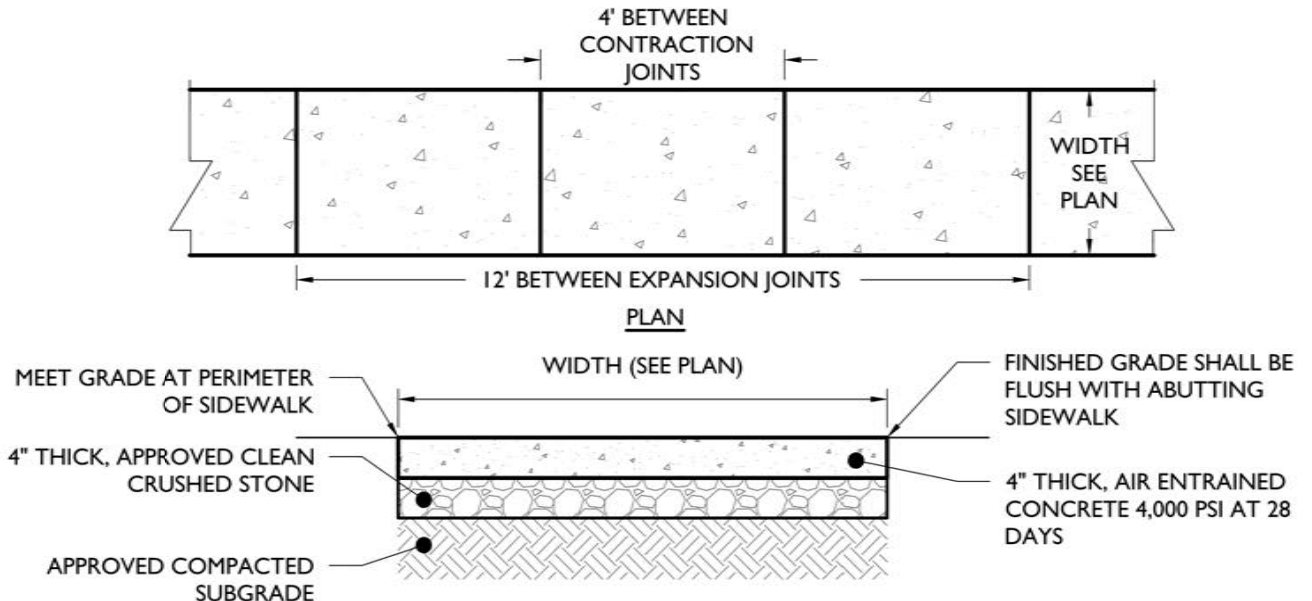
CONCRETE WALKWAY TO ASPHALT TRANSITION DETAIL

NOT TO SCALE



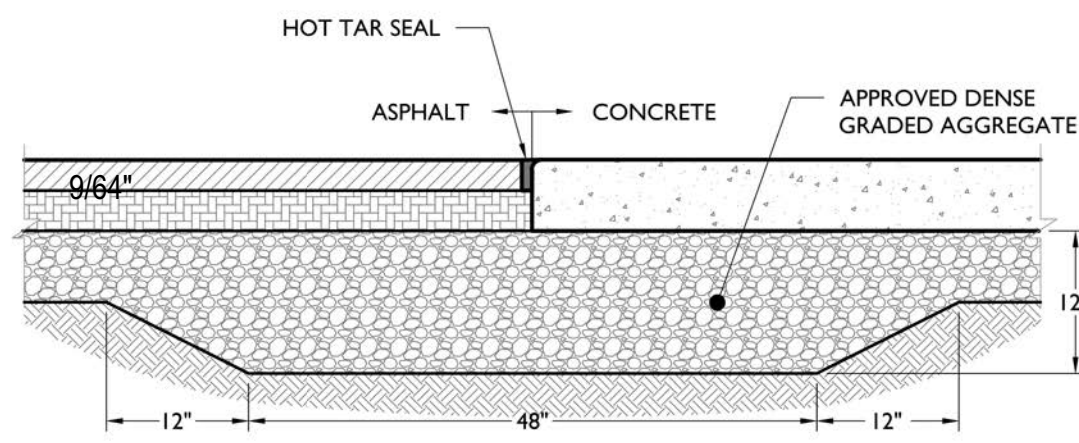
REINFORCED 6" CONCRETE MAT

- NOTES:
1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 2. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
 3. CONCRETE SHALL RECEIVE BROOM FINISH.
 4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.



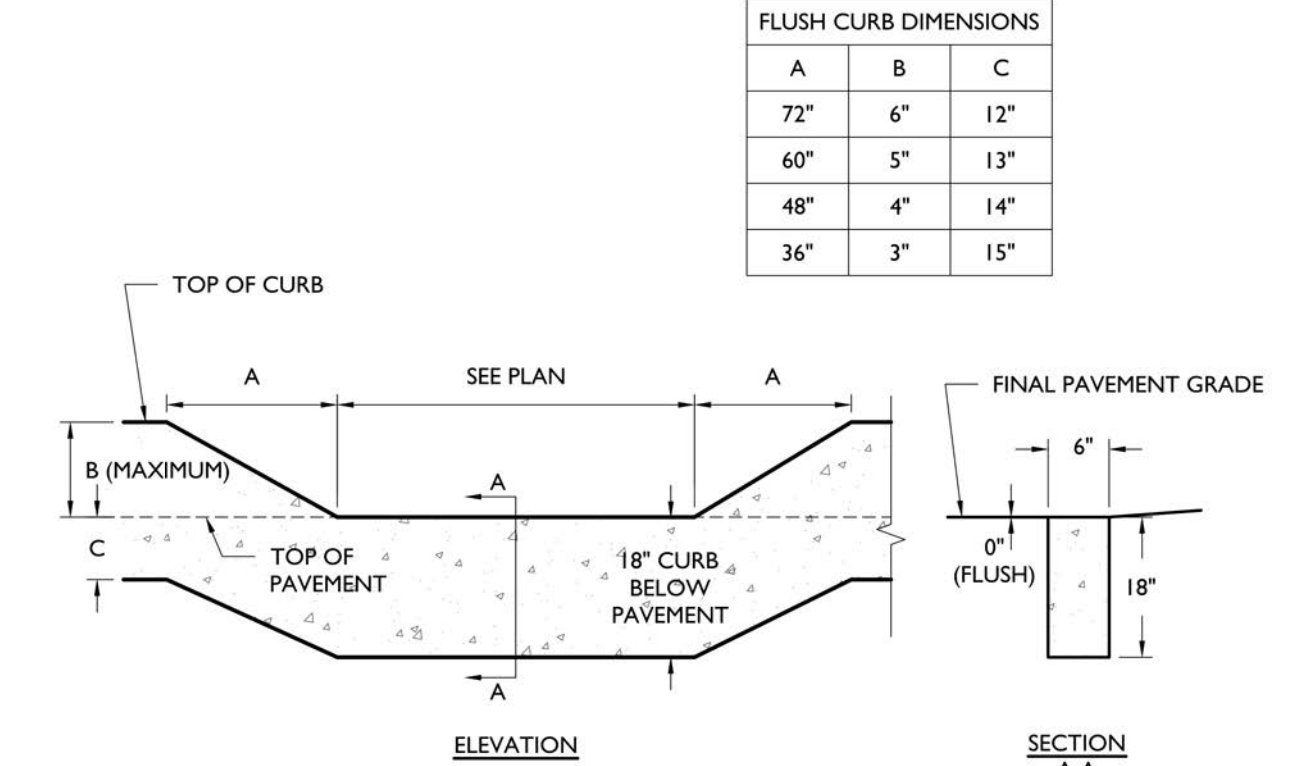
CONCRETE WALKWAY DETAIL

- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



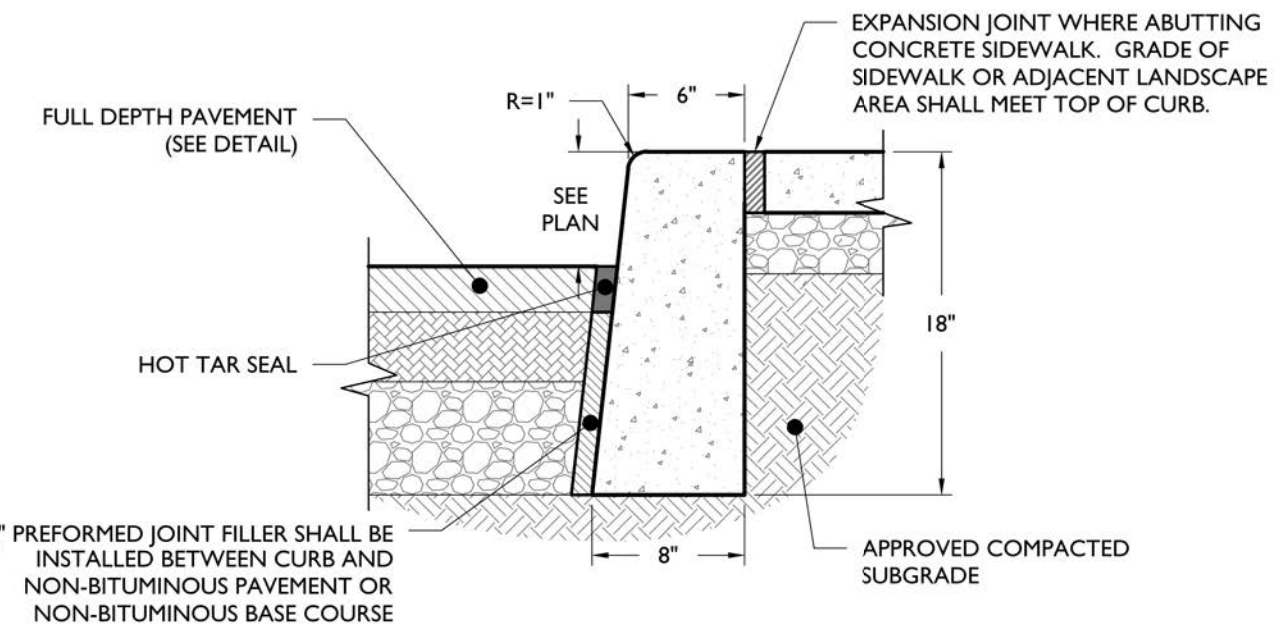
CONCRETE TO ASPHALT TRANSITION DETAIL

NOT TO SCALE



FLUSH CURB DETAIL

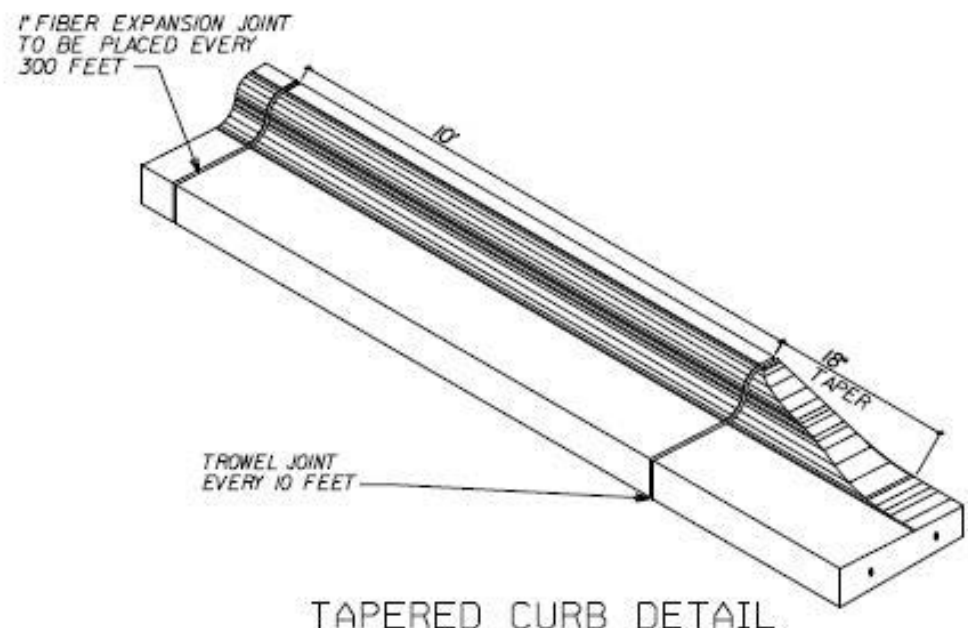
NOT TO SCALE



CONCRETE CURB DETAIL

NOT TO SCALE

- NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



TAPERED CURB DETAIL

9



REVISION	DATE

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INGHAM COUNTY LAND BANK
 HICKORY POINTE CONDOMINIUMS
 400 BLOCK S. PENNSYLVANIA
 LANSING, MI 48912

CONSTRUCTION DETAILS

OWNER:
 INGHAM COUNTY LAND BANK
 3024 TURNER RD LANSING, MICHIGAN

DATE:

02/13/2025

SCALE:

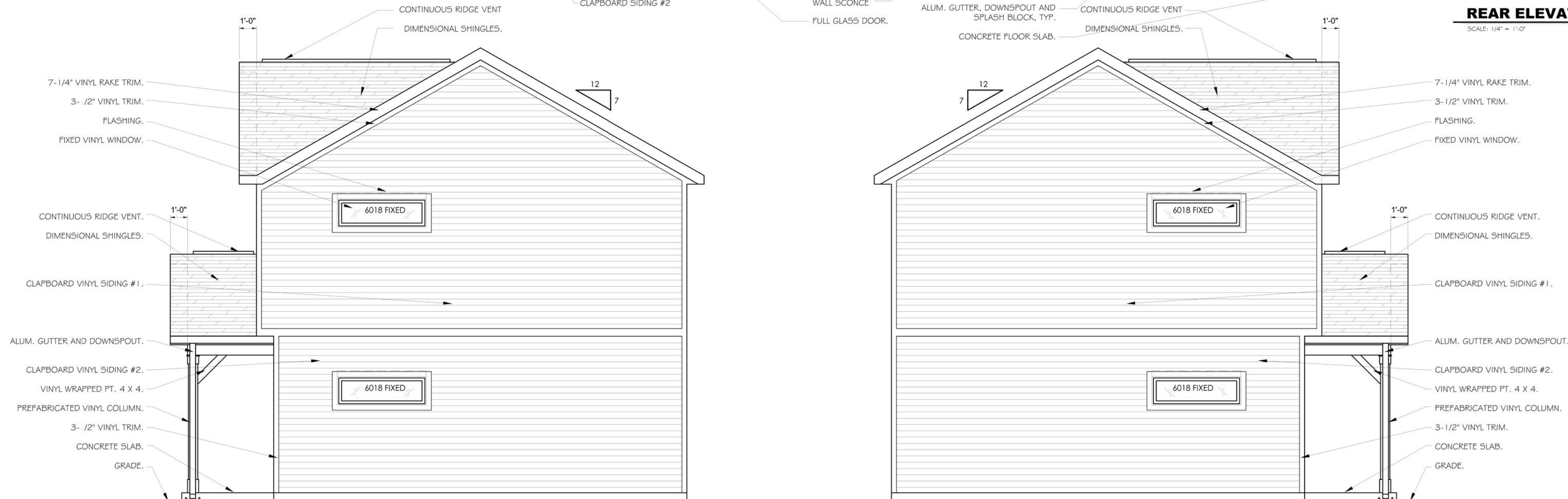
SHEET NO:

C.9

ELEVATION



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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HICKORY POINTE CONDOMINIUM'S
400 BLOCK S. PENNSYLVANIA
LANSING, MI 48912

ELEVATION

OWNER:
INGHAM COUNTY LAND BANK
3024 TURNER RD LANSING, MICHIGAN

DATE:

02/13/2025

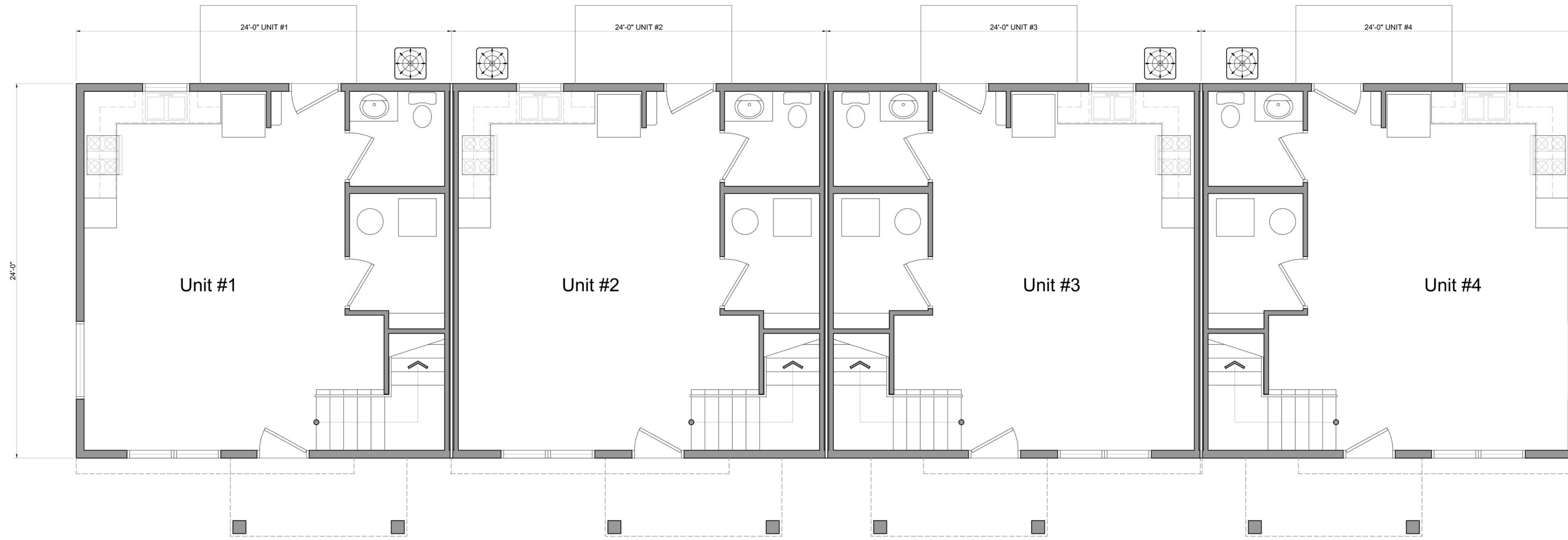
SCALE:

1/4" = 1'

SHEET NO:

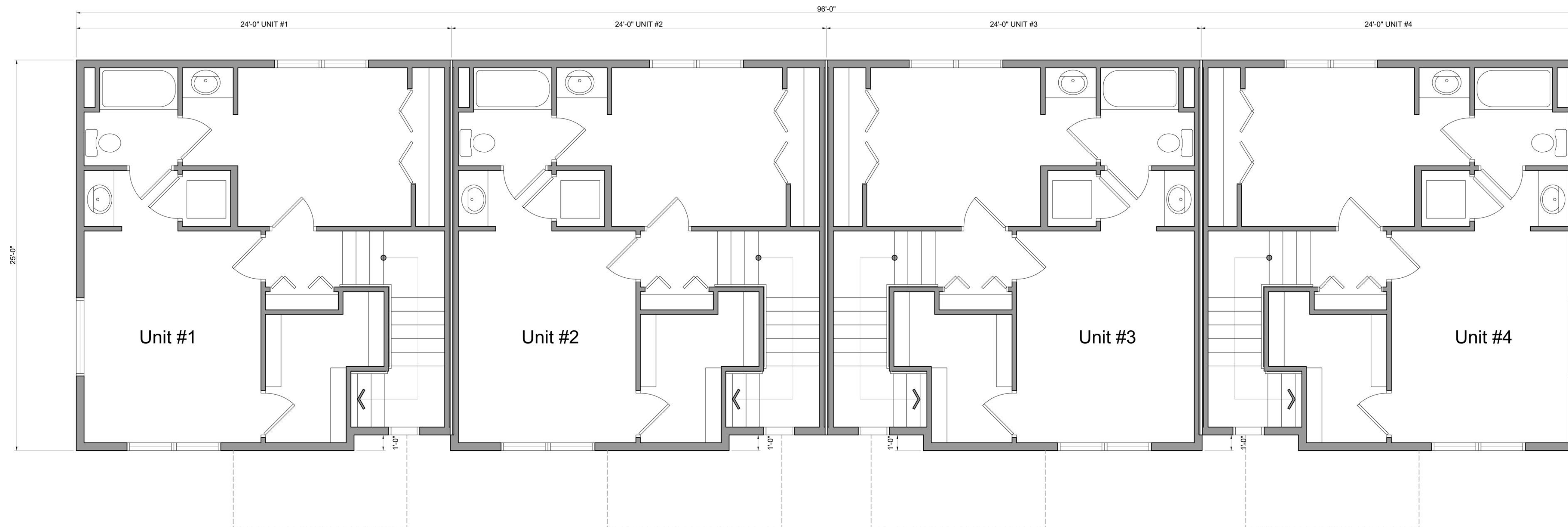
A.1

FLOOR PLAN



OVERALL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



OVERALL SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISION TABLE	REVISED BY	DATE

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 HICKORY POINTE CONDOMINIUM'S
 400 BLOCK S. PENNSYLVANIA
 LANSING, MI 48912

FLOOR PLAN

OWNER:
 INGHAM COUNTY LAND BANK
 3024 TURNER RD LANSING, MICHIGAN

DATE:

02/13/2025

SCALE:

1/8" = 1'

SHEET NO:

A.2