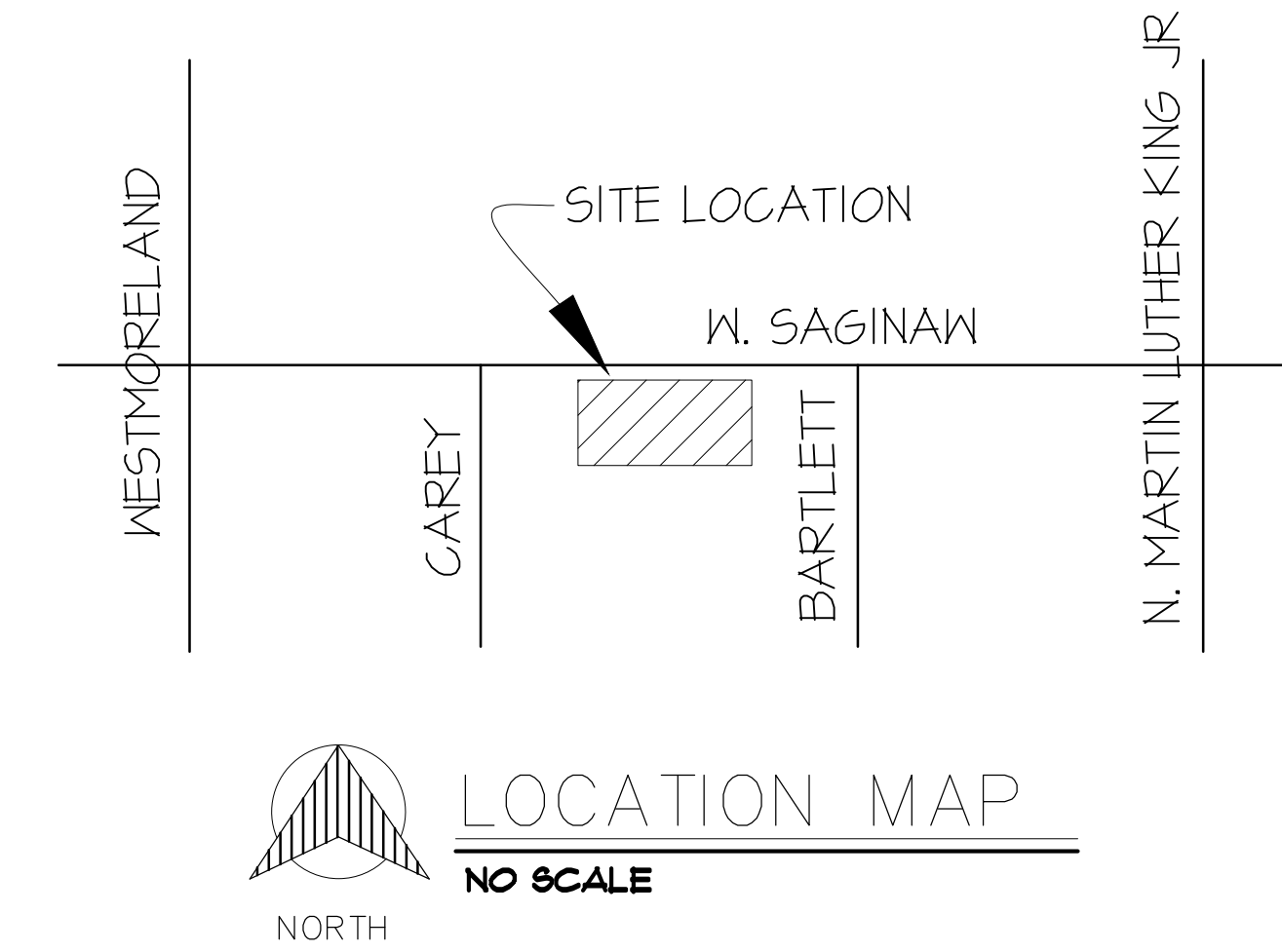
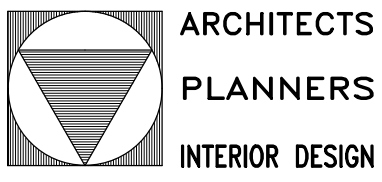


POINTE WEST CONDOMINIUMS

1209 W. SAGINAW LANSING, MICHIGAN



COPYRIGHT 2022 SCOTT MONCHNIK & ASSOCIATES ARCHITECTS. NO NOTICE. THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT AND NO ALTERATIONS OR TRANSFERS OF WORK ARE PERMITTED UNLESS WRITTEN APPROVAL IS GRANTED BY SCOTT MONCHNIK & ASSOCIATES ARCHITECTS. VIOLATIONS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.



SCOTT MONCHNIK & ASSOCIATES, INC.
1700 STUTZ DRIVE
SUITE 104-B
TROY, MICHIGAN 48064
TEL: 248-654-1010
FAX: 248-654-3002
SCOTT@SMAARCH.COM



GENERAL NOTES:

ARCHITECTURAL NOTES:

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING AND OTHER PERMITS REQUIRED FOR THE COMPLETION OF THE WORK.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE. NOTIFY THE ARCHITECT OR OWNER PRIOR TO COMMENCING WORK OF ANY DISCREPANCIES, CONFLICTS OF OMISSIONS IN THE CONSTRUCTION DOCUMENTS AND BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. AN ADDENDUM WILL BE ISSUED AS NECESSARY AND WILL BECOME A PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.

CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OF DEBRIS AND PROVIDE FINAL CLEAN UP OF JOB SITE PRIOR TO MOVE-IN.

CONTRACTOR TO PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE SAFETY OF THE EXISTING TENANT AND GENERAL PUBLIC DURING CONSTRUCTION.

CONTRACTOR TO PROVIDE ALL NECESSARY FIRE EXTINGUISHERS.

MECHANICAL (HVAC) NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS

CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD)

CONTRACTOR SHALL PROVIDE OR REWORK SYSTEM PER INFORMATION ON DRAWINGS.

ALL ROOMS TO HAVE A MINIMUM OF ONE (1) SUPPLY DIFFUSER AND ONE (1) RETURN AIR GRILLE

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL STATE, AND FEDERAL CODES AND LAWS.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TESTING AND BALANCING OF THE HVAC SYSTEM. MODIFY AND SUPPLEMENT EXISTING SYSTEM AS NECESSARY. AIR DUCTS AND RETURN AIR GRILLES SHALL BE DAMPERED AS REQUIRED.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

CONTRACTOR TO VERIFY ALL MECHANICAL CAPACITY AND REQUIREMENTS.

ELECTRICAL / LIGHTING NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS

CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD)

CONTRACTOR SHALL PROVIDE OR REWORK SYSTEM PER INFORMATION ON DRAWINGS.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL STATE, AND FEDERAL CODES AND LAWS.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

PLUMBING NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS

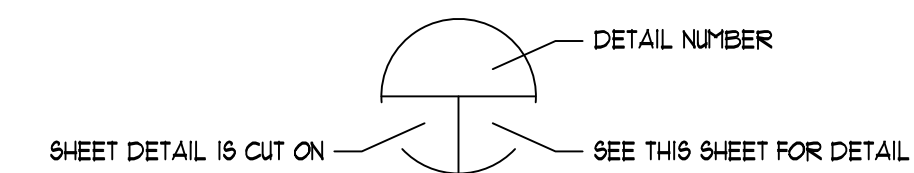
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD)

CONTRACTOR SHALL PROVIDE OR REWORK SYSTEM PER INFORMATION ON DRAWINGS.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL STATE, AND FEDERAL CODES AND LAWS.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

SYMBOL LEGEND



BUILDING INFORMATION:

TOTAL NO. OF DWELLING UNITS	5
DWELLING UNIT AREA:	
UNIT TYPE A:	
FIRST FLOOR:	576 SF
SECOND FLOOR:	538 SF
TOTAL:	1114 SF
UNIT TYPE B:	
FIRST FLOOR:	624 SF
SECOND FLOOR:	586 SF
TOTAL:	1210 SF
TOTAL BUILDING AREA:	5,762 SF
MEAN BUILDING HEIGHT:	22'-4"
NO. OF STORIES:	2

CODE SUMMARY:

REVIEW CODE	2015 MICHIGAN RESIDENTIAL CODE
USE GROUP	R-3
TYPE OF CONSTRUCTION	TYPE V-B

2015 MICHIGAN RESIDENTIAL CODE

CHAPTER 2 DEFINITIONS

"TOWNHOUSE":
A SINGLE-FAMILY DWELLING UNIT CONSTRUCTED IN A GROUP OF THREE OR MORE ATTACHED UNITS IN WHICH EACH UNIT EXTENDS FROM FOUNDATION TO ROOF AND WITH A YARD OR PUBLIC WAY ON NOT LESS THAN TWO SIDES.

SECTION R302 FIRE-RESISTANT CONSTRUCTION
SUBSECTION R302.2 TOWNHOUSES:
EACH TOWNHOUSE SHALL BE CONSIDERED A SEPARATE BUILDING AND SHALL BE SEPARATED BY A 2-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY TESTED IN ACCORDANCE WITH ASTM E119 OR UL263 WITH EXPOSURE FROM BOTH SIDES

LIST OF DRAWINGS

G1.01	BUILDING & CODE INFORMATION
A1.01	FOUNDATION PLAN & ROOF PLAN
A1.02	FIRST FLOOR & SECOND FLOOR BUILDING PLANS
A1.03	UNIT PLANS
A2.01	FRONT AND REAR EXTERIOR ELEVATIONS
A2.02	SIDE ELEVATIONS AND WALL SECTIONS

POINTE WEST CONDOMINIUMS
INGHAM COUNTY LAND BANK
1209 W. SAGINAW
LANSING, MICHIGAN

ISSUED FOR:
1 DEC 2022
BUILDING PERMIT

SHEET# G1.01

DATE: 1 DEC 2022

JOB# 22032